

SKYLAKE ACRES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: No comments received.

The preliminary plat illustrates the proposed 3-lot, 3.6± acre subdivision which is located on the South side of McCovery Road Extension, 1,300'± South of McLeod Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and individual sewer systems.

The purpose of this application is to create 3 legal lots of record from 1 large metes-and-bounds parcel. The site appeared before the Planning Commission at its February 19, 2004 meeting where the Commission denied a 4-lot subdivision request for the following reasons:

- 1) The lots exceed the maximum width to depth ratio (V.D.3.); and
- 2) The plat would increase the number of lots that access a substandard road (a dirt road with less than 60-feet of right-of-way).

The dirt road has been paved since that time; however, the proposed Lot 3 in this request would require a waiver of Section V.D.3. of the Subdivision Regulations as the maximum depth of the lot would exceed 3.5 times the width of the lot at the building setback line. It should be pointed out that the proposed lot measures approximately 60'± at the building setback line and, due to the unique layout of the lot which results in a limited amount of frontage provided, any future subdivision of the lot should be prohibited until additional frontage along a public or private street is provided. This note should appear on the Final Plat if approved.

As proposed, all proposed lots exceed the minimum lot size requirements and a 40' minimum building setback line is depicted on the plat and should be retained on the Final Plat, if approved.

The site has frontage along McCovery Road Extension, a minor street without curb-and-gutter. As the existing right-of-way width is depicted as 60', no dedication would be required.

It should be pointed out that the Major Street Plan Component of the Comprehensive Plan depicts the general path of March Road Extension across the northwestern portion of the site;

however, the exact location of the street is unknown as there are no immediate plans for the street's construction. If approved, a note should be placed on the Final Plat stating that the site appears to be within the path of a proposed major street and may be impacted by the major street in the future.

The proposed Lot 2 is residentially developed and has one existing curb-cut to McCovery Road Extension. As a means of access management, the proposed lot should be limited to the existing curb-cut and the proposed Lots 1 and 3 should be limited to one (1) curb-cut each to McCovery Road Extension. The size, design and location of the proposed curb-cuts, along with any changes to the existing curb-cut, are to be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat depicts overhead utilities on the site which suggest there are easements that may not be depicted. In accordance with Section IV.C.2.h of the Subdivision Regulations, the Final Plat should be revised to illustrate all easements on the site, as necessary, along with a note stating that no permanent structure(s) can be placed or constructed in any easement, if approved.

This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

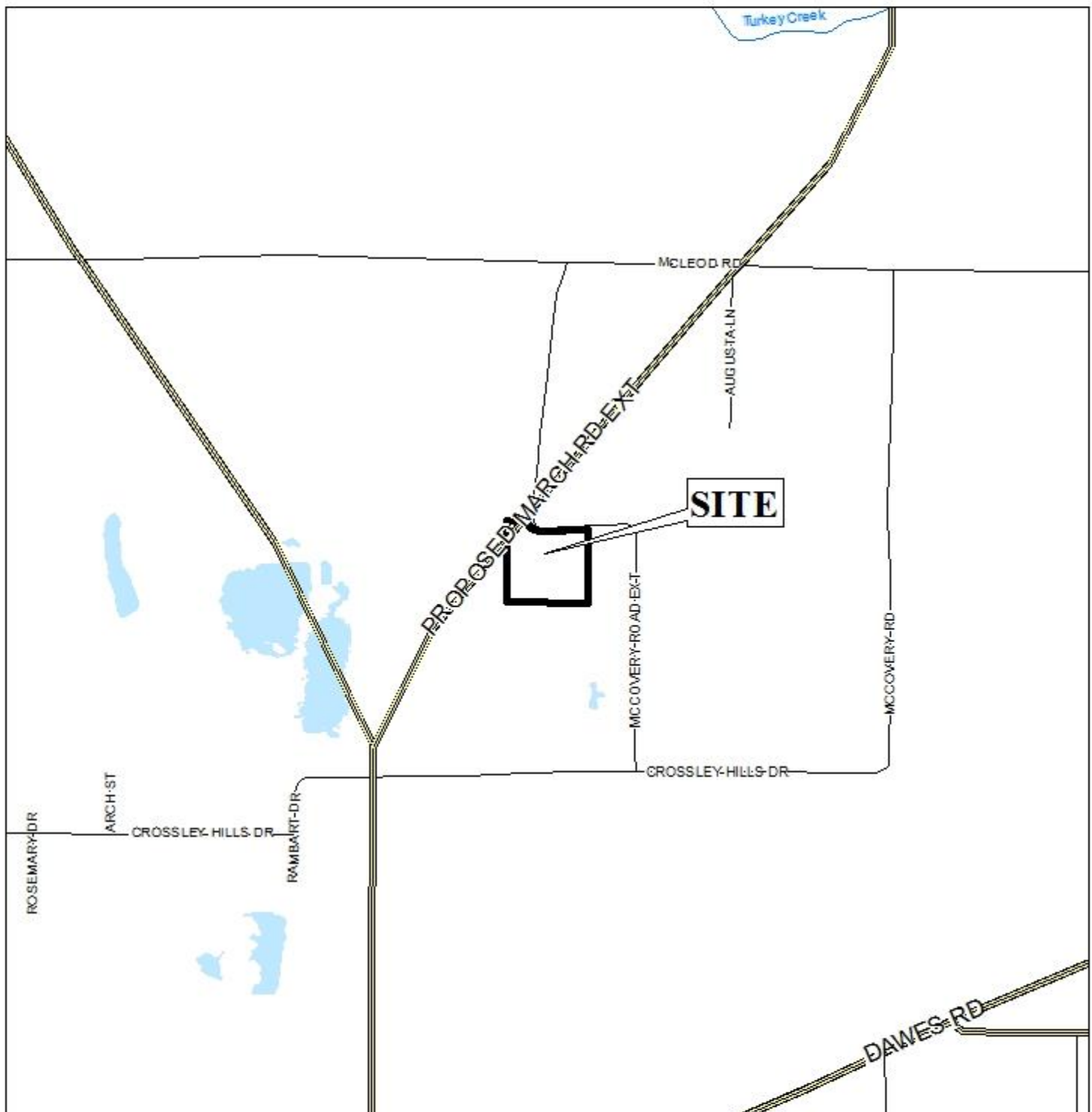
With a waiver of Section V.D.3. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Depiction of all easements on the Final Plat, along with a note stating that no permanent structure(s) can be placed or constructed in any easement, if necessary;
- 2) Retention of the lot size information and 40' minimum building setback line on the Final Plat;
- 3) Placement of a note on the Final Plat stating: *(No future subdivision of Lot 3 is allowed until additional frontage is provided along a paved, public or private street.);*
- 4) Placement of a note on the Final Plat stating: *(The site appears to be within the path of a proposed major street and may be impacted by the major street in the future.);*
- 5) Placement of a note on the Final Plat stating: *(Lot 2 is limited to the existing curb-cut and Lots 1 and 3 are limited to one (1) curb-cut each to McCovery Road Extension. The size, design and location of the proposed curb-cuts, and any changes to the existing curb-cut, are to be approved by Mobile County Engineering and conform to AASHTO standards.);*
- 6) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 7) Compliance with Engineering Comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed*

engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and

- 8) Compliance with Fire-Rescue Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.).*

LOCATOR MAP



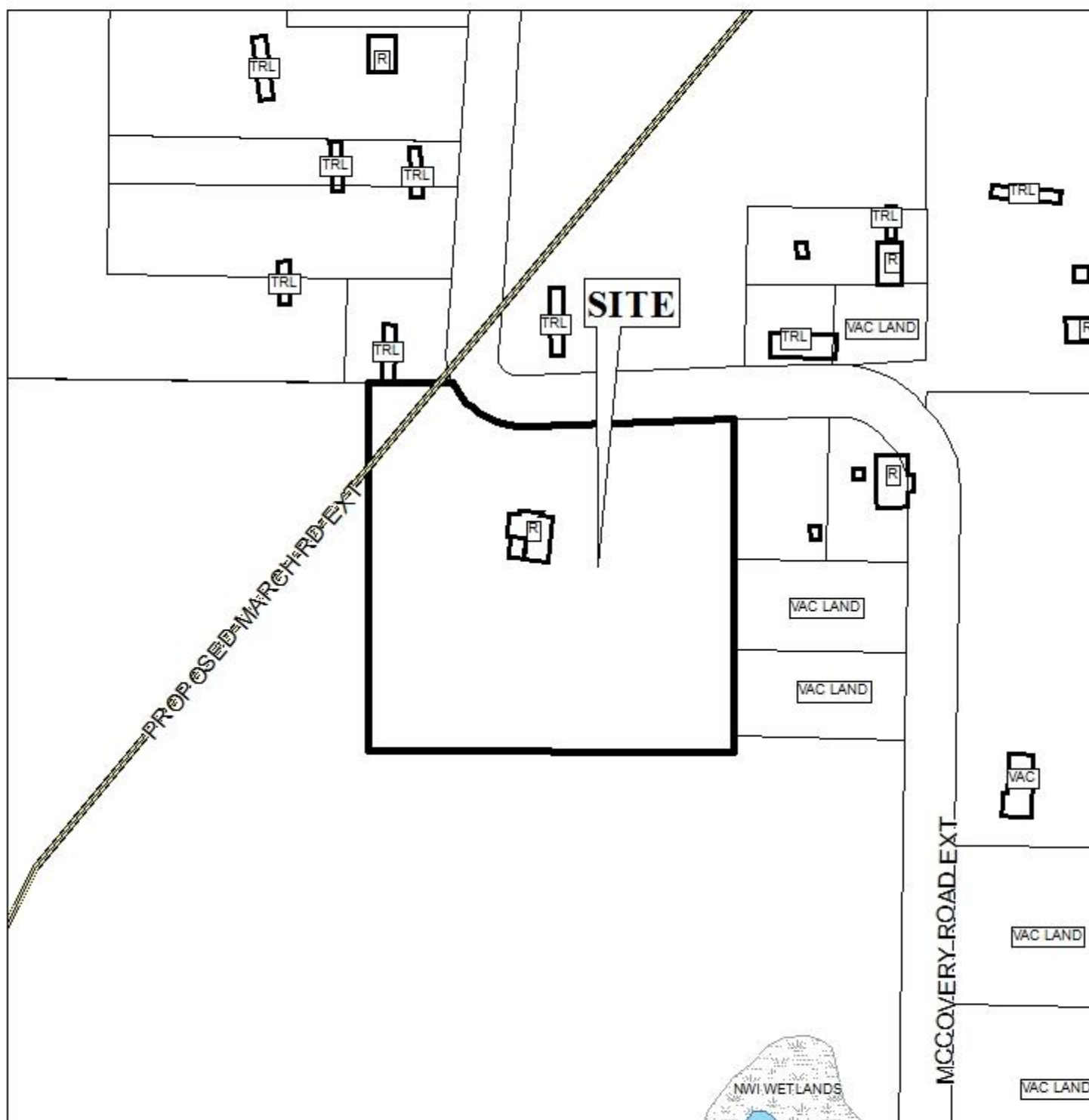
APPLICATION NUMBER 10 DATE March 5, 2015

APPLICANT Skylake Acres Subdivision

REQUEST Subdivision



SKYLAKE ACRES SUBDIVISION

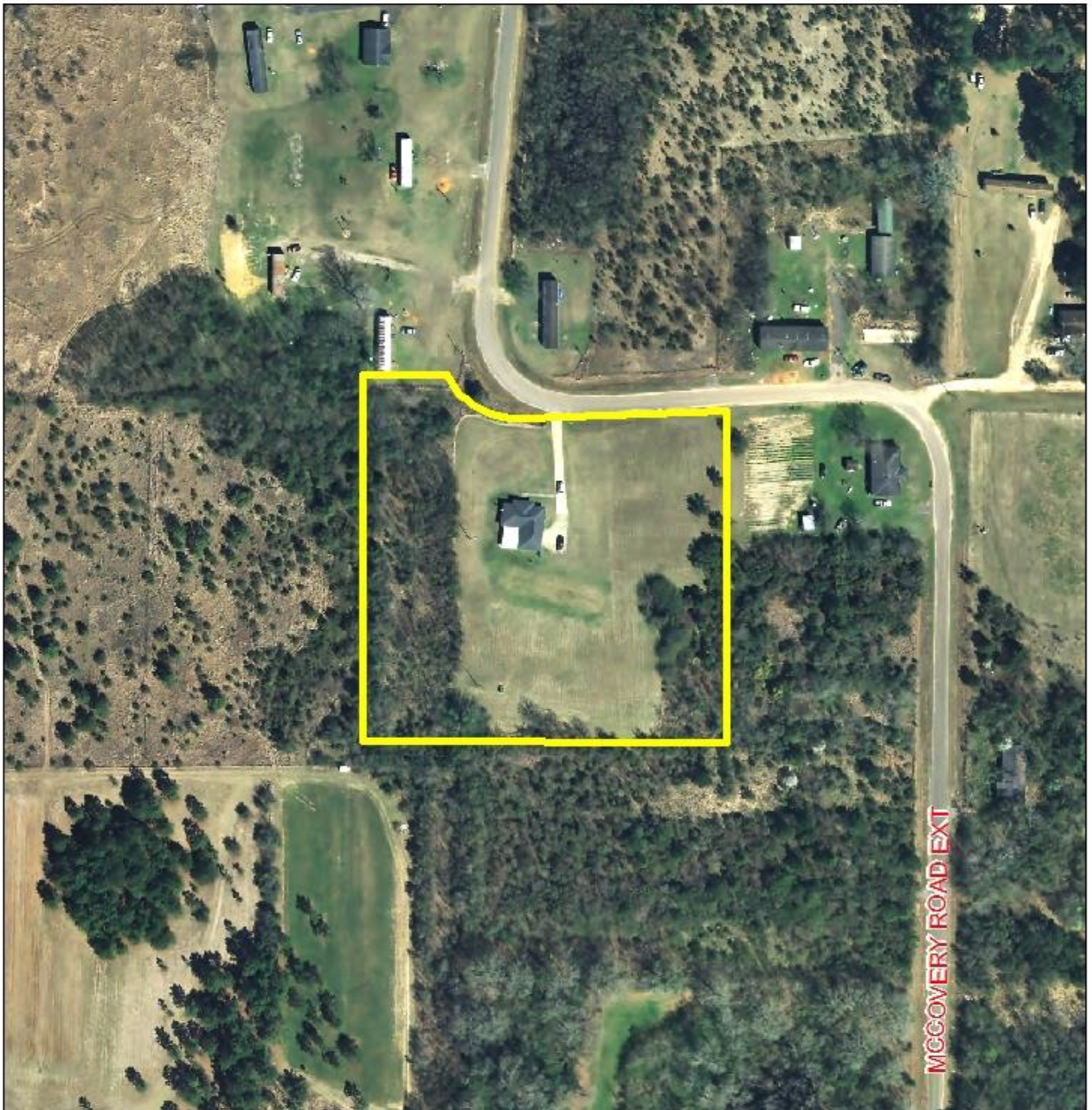


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



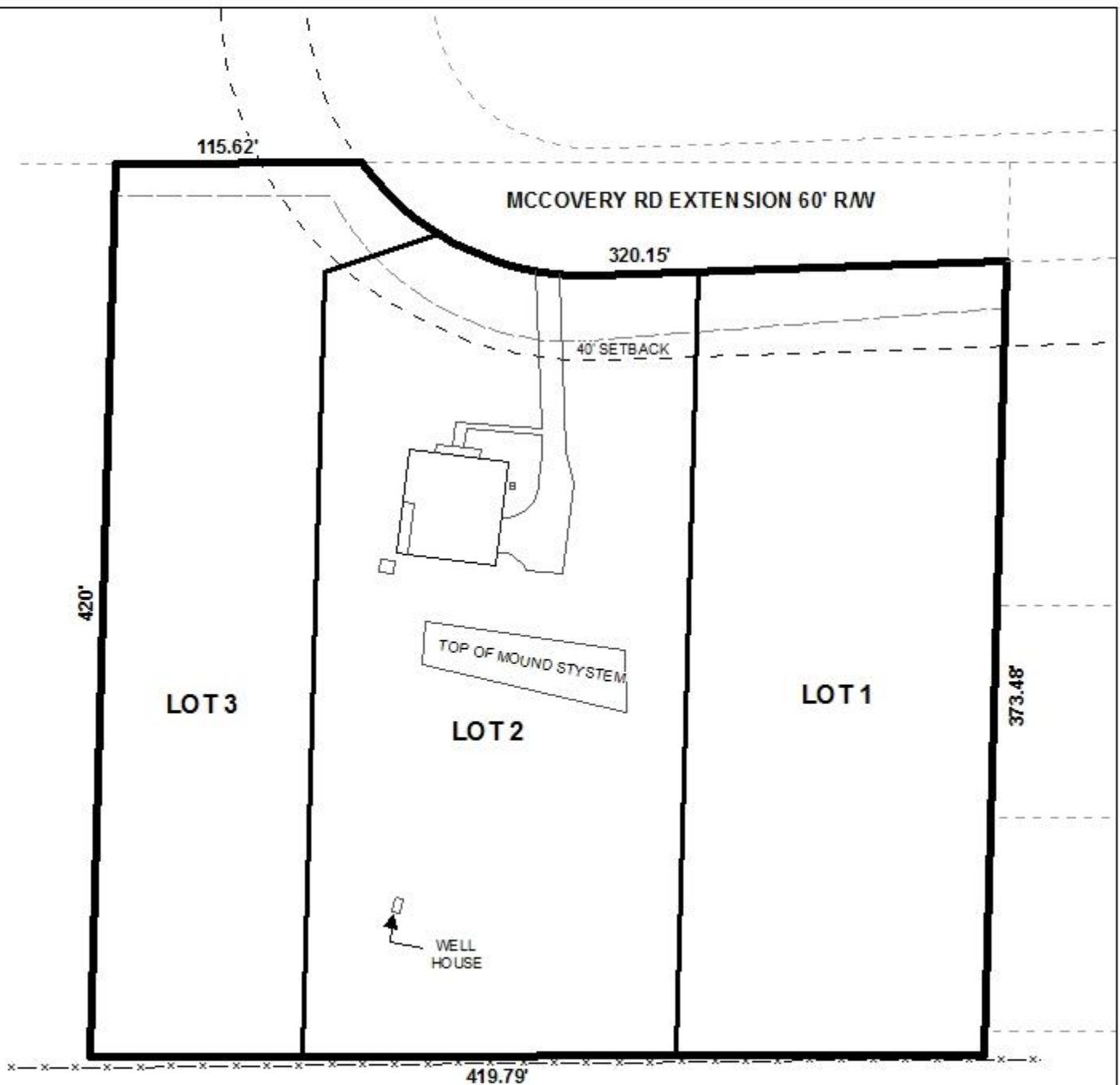
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DETAIL SITE PLAN



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REQUEST Subdivision

