

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: April 5, 2018****DEVELOPMENT NAME**

Saunders Subdivision, Resubdivision of Lot 1

LOCATION840 Dumaine Road
(Southeast corner of Dumaine Road and Conception Street Road).**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

I-1, Light Industry District.

AREA OF PROPERTY

1 Lot / 2.4± Acres

CONTEMPLATED USEPlanned Unit Development to amend a previously approved
Planned Unit Development to allow multiple buildings on a
single building site.**TIME SCHEDULE
FOR DEVELOPMENT**

Not specified.

**ENGINEERING
COMMENTS**Drawing submitted does not indicate the limits of the
proposed PUD on the drawing. Also, the notes, etc.
indicate that it is a Plat drawing.**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Lot 1 is limited to one curb cut to Dumaine Road and two curb cuts to Conception Street Road, and Lot 2 is limited to two curb cuts to Dumaine Road. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS COMMENTS

No comments.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.

The site was most recently before the Planning Commission at its March 1, 2018 meeting, where it approved subdivision of the lot into two (2) legal lots; however, doing so changed a previously approved PUD site plan from 2003, 2006, and 2012 by eliminating a portion of the site from the approved PUD while maintaining multiple buildings on a single building site. PUDs are site-plan specific, thus any changes to the PUD require additional approval from the Planning Commission, and PUD approval is still required for building sites with multiple buildings. As such, approval of the Subdivision is conditional upon amending the PUD, hence the application at hand. Besides removing a portion of the site from the existing PUD and striping additional parking spaces, no additional changes are proposed.

PUD review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and, to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

As mentioned, PUD approval is **site-plan specific**, thus any changes to the site plan will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

The site has been given a **Light Industry** land use designation per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting. This land use designation applies to an array of modern, low-impact industrial uses that include assembly and processing, warehousing, distribution, and wholesaling facilities. The bulk of the light industrial use must be contained within a building or facility. If a light industrial use requires outside storage, the storage must be limited in area and appropriately screened from view in accordance to specific zoning requirements. This designation may also include uses such as complementary offices and retail.

Light Industry also includes areas that may be regarded as “industrial business,” where the land uses include business administration and logistics operations for industrial concerns, building trade contractor facilities and advanced research facilities, as well as stand-alone education, scientific and industrial research facilities; or, any combination of those facilities located in light industrial and technology parks. Many parcels used for industrial business are smaller and scattered throughout Mobile. For this reason, these parcels are not singled-out in the Future Land Use Map, but are instead addressed through zoning.

Light industrial uses are characterized by attractive, accessible and connected development compatible with the character of surrounding neighborhoods. Development may take the form of planned campuses in park-like settings or unified design corridors, with consideration to factors such as: site and building orientation; building design; landscaping and buffering; lighting;

continuity of pedestrian networks; and, access and connectivity to transit and to freight transportation. It should be noted that heavy commercial and, in some cases, high-density residential land uses may serve as transitions between Light Industry and other, lower-intensity land use designations. Also, protection buffers may be required by Zoning.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The site is within an I-1, Light Industry District, and is developed with what appears to be six (6) buildings, though a previous site plan indicates two (2) of these are metal canopies. Two (2) additional areas are identified as “Building Floors,” but are not identified as actual buildings. Aerial photos do seem to indicate these “Building Floors” are actual structures whose sizes are $825\pm$ square-feet, when combined, exclusive of any other structure to which they may be attached. The aggregate size of all *known* structures on the site is $24,123\pm$ square-feet, $8,080\pm$ square-feet of which is identified as office space, and $11,639\pm$ square-feet is identified as warehouse and storage-type spaces. The uses of the remaining $5,219\pm$ square-feet of building space, to include the “Building Floor” areas, are unknown. If approved, revision of the site plan to indicate each building and its current or proposed use should be required.

The site plan illustrates 23 off-street, paved parking spaces, two (2) of which appear to be van accessible, and all of which appear to comply with stall length and width requirements. Also illustrated are approximately 50 wheel stops surfaced with aggregate material, an acceptable surfacing material in I-1, Light Industry Districts. The applicant proposes to stripe and provide wheel stops for an additional seven (7) paved parking spaces, which also appear would comply with parking stall length and width requirements.

Staff cannot determine the required amount of off-street parking requirements since no calculations were provided by the applicant regarding the number of warehouse employees, or the uses of the additional building spaces, though at least 27 parking spaces are required for the $8,090\pm$ square-feet of office area. As such, additional parking may be required; however, it should be noted that the site has remained substantially unchanged for 30 years, with the exception of the work approved by the previous Approvals, thus existing parking ratios may be considered non-conforming. Nevertheless, any future expansion of the offices, warehouse(s), or other enclosed spaces on the site will require an adequate number of parking spaces be provided in compliance with the Zoning Ordinance.

Access and maneuvering on the site appear to be adequate for two-way traffic circulation.

Full compliance with tree and landscaping was not required by the most recently approved PUD, but several frontages trees are illustrated on the site plan: four (4) along Dumaine Road, two (2)

of which appear to be planted in the right-of-way; and three (3) along Treatment Plant Road. No additional trees or landscaping are required at this time, but existing trees and landscaped area should not be reduced.

No sidewalks are illustrated on the site plan along either street frontage, and none are visible in recent aerial photos. While sidewalks are not required at this time due to the limited scope of the project, the City has adopted a complete streets policy with which future development of the site may require compliance.

A photometric plan is not required since the scope of the project is limited to the delineation of additional parking spaces, but any new site lighting should comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance.

A dumpster is not depicted on the site plan and one is not clearly visible in recent aerial photos. Any dumpster placed on the property must be in compliance with the current enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance and must be illustrated on any revised site plan(s); or, placement of a note should be provided on a revised site plan stating that curbside pickup will be utilized, if approved.

Per the most recent Subdivision approval of the site, adequate right-of-way is illustrated along Dumaine Road, but not along Treatment Plant Road.

The 25' minimum building setback line is illustrated along Dumaine Road, but not along Treatment Plant Road. The site plan should be revised to illustrate the 25' minimum building setback line along Treatment Plant Road.

Per Traffic Engineering's review of the aforementioned Subdivision, a note should be placed on the site plan stating the lot on which the PUD site is developed is limited to two (2) curb cuts to Dumaine Road, and that access to Treatment Plant Road is denied; and, that any changes to the sizes, locations or designs of all curb cuts are to be approved by Traffic Engineering and conform to AASHTO standards.

One (1) easement is illustrated on the site plan that was not addressed by staff in the Subdivision request: a 10' permanent easement between the two (2) proposed lots. As such, a note should be placed on the site plan stating no structures shall be constructed in any easement.

It should be noted that the site plan provided includes the adjacent lot, "Lot 1," from which it is proposed to be subdivided. The proposed lot, as mentioned, is no longer to be included as part of the PUD site. As such, revision of the site plan to only illustrate the lot, "Lot 2," on which the remainder of the PUD site is to be maintained should be required, if approved.

Finally, the site appears to be located in the flood zone as depicted on FEMA maps, and thus may be subject to flooding. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

RECOMMENDATION

Based upon the preceding, staff recommends to the Planning Commission the following findings of fact for Approval of the Planned Unit Development:

- a) the proposal promotes the objective of creative design by utilizing a single building site for multiple buildings, thus engendering site development that is diverse from traditional site development, which is limited to one building per building site;
- b) the proposal promotes the objective of flexibility by permitting more buildings on a single building site than is generally possible under district regulations, thus facilitating economic development within the community;
- c) the proposal promotes the objective of efficient land use by maintaining greater infill development of what appears to be an underutilized industrial corridor;
- d) the proposal promotes the objective of environment with tree plantings and landscaping to break up the expanse of existing pavement, protect soil erosion, reduce the hazards of flooding, and promote the pleasant appearance and character of the neighborhood;
- e) the proposal promotes the objective of open space by not exceeding the maximum building site coverage of the underlying district, and by maintaining landscaping and tree plantings on the site; and,
- f) the proposal promotes the objective of public services by mitigating the excessive use of such services by maintaining existing site development and not proposing additional site development, as was initially requested by previous PUD reviews.

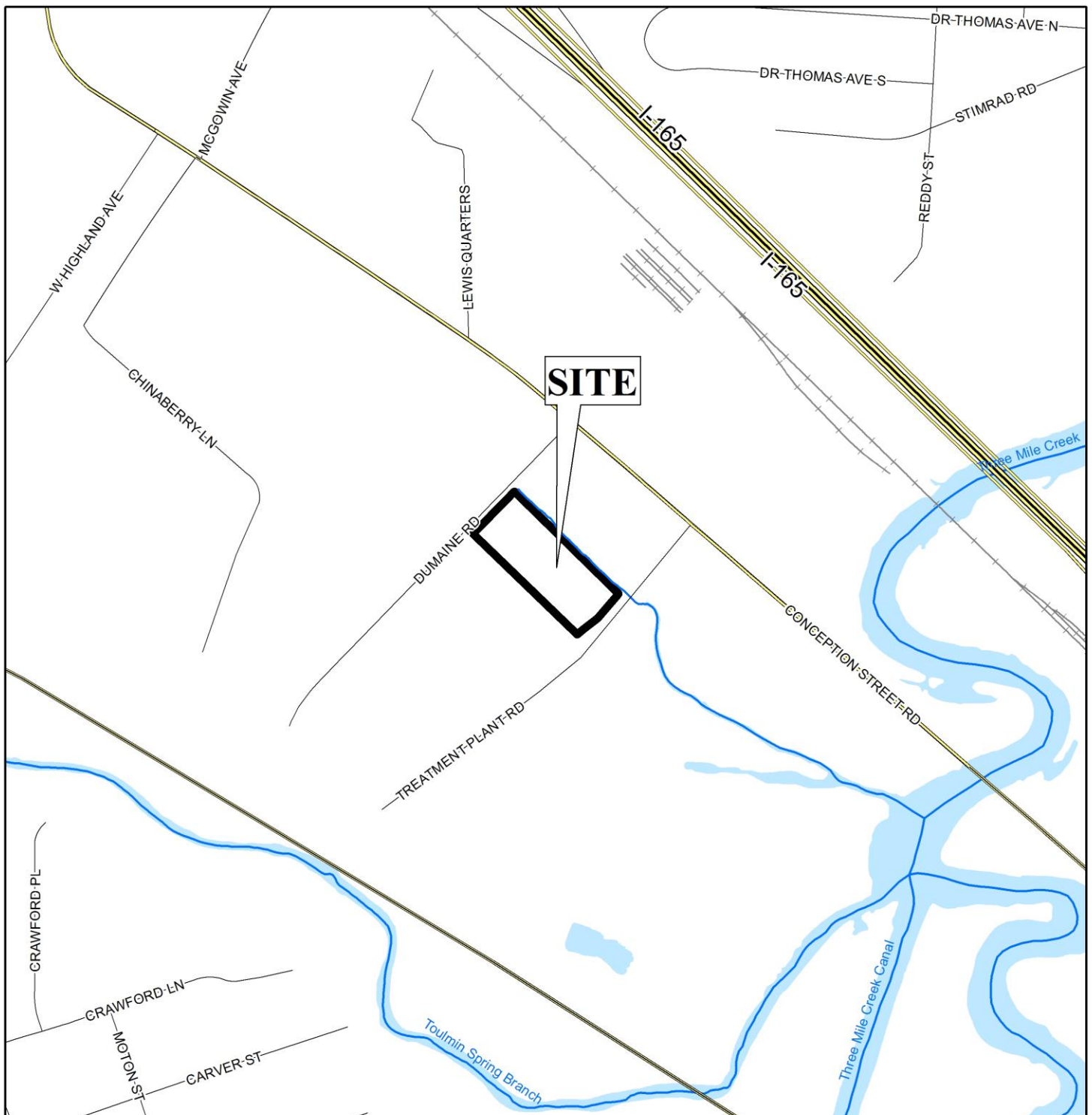
The approval is subject to the following conditions:

- 1) revision of the site plan to identify each building and its current or proposed use;
- 2) revision of the site plan to illustrate a dumpster in compliance with the enclosure and sanitary sewer connection requirements of section 64-4.D.9. of the Zoning Ordinance, or placement of a note on the site plan stating curbside pickup will be utilized;
- 3) retention of the lot sizes on which the PUD site is developed in square feet and acres;
- 4) revision of the site plan to illustrate the 25' minimum building setback line along all street frontages;
- 5) placement of a note on the site plan stating the site is limited to two (2) curb cuts to Dumaine Road, that access is denied access to Treatment Plant Road, and that any changes to the sizes, locations or designs of all curb cuts are to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) placement of a note on the site plan stating no structures shall be constructed in any easement;
- 7) revision of the site plan to remove the proposed Lot 1 from the PUD;
- 8) compliance with Engineering comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) A Land Disturbance Permit*

application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4) Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state. 5) Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 6) The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 7) The proposed development must comply with all Engineering Department design requirements and Policy Letters.);

- 9) compliance with Traffic Engineering comments: *(Lot 1 is limited to one curb cut to Dumaine Road and two curb cuts to Conception Street Road, and Lot 2 is limited to two curb cuts to Dumaine Road. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 11) compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).);*
- 12) provision of two (2) revised copies of the PUD site plan to the Planning and Zoning Department prior to signing of the Final Subdivision Plat;
- 13) completion of the Subdivision process prior to the approval of any land disturbing or building activities;
- 14) approval of all applicable federal, state and local agencies prior to the issuance of any permits or land disturbance activities; and,
- 15) compliance with all municipal Codes and Ordinances.

LOCATOR MAP



APPLICATION NUMBER 10 DATE April 5, 2018

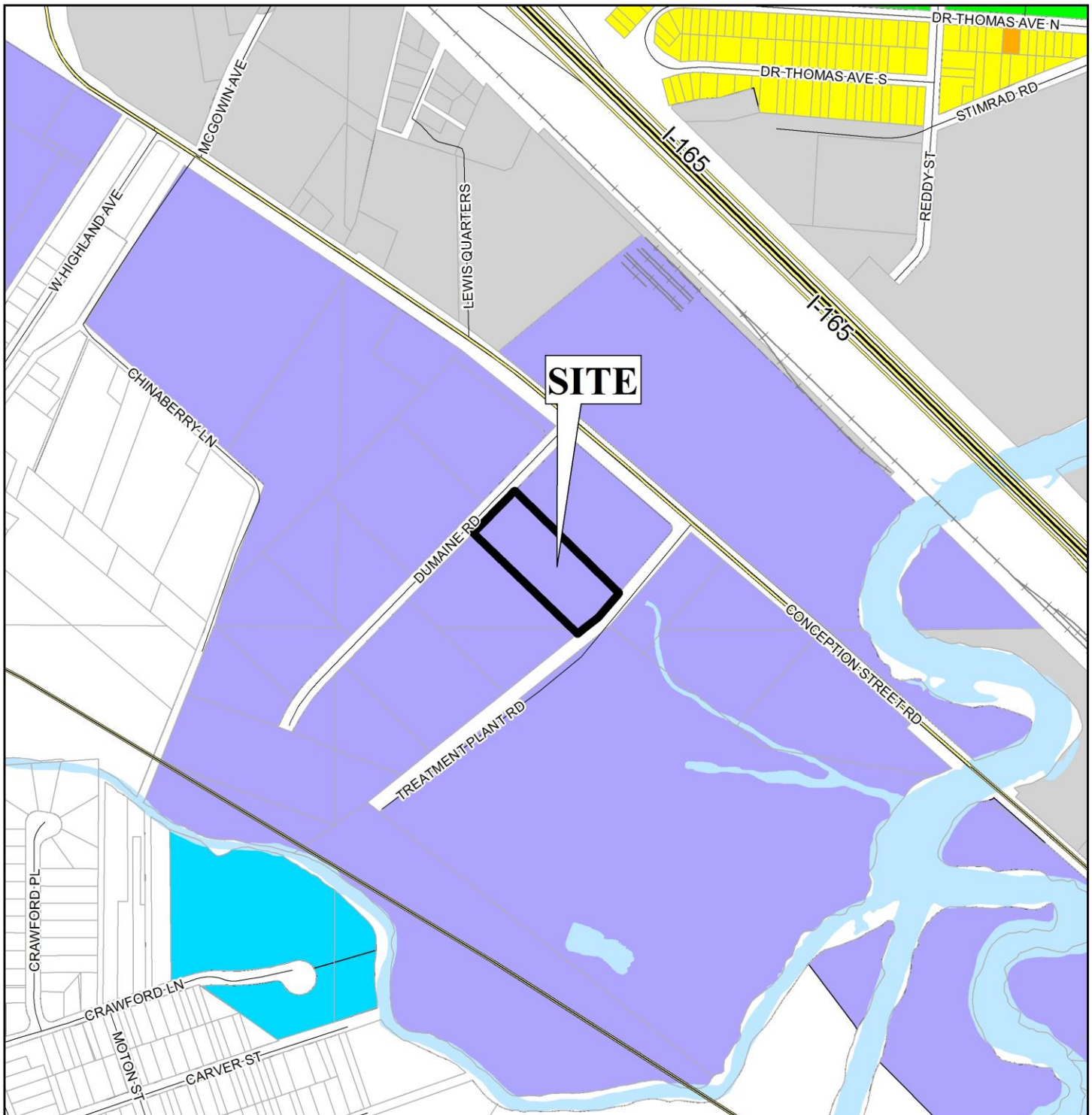
APPLICANT Saunders Subdivision, Resubdivision of Lot 1

REQUEST Planned Unit Development



NTS

LOCATOR ZONING MAP



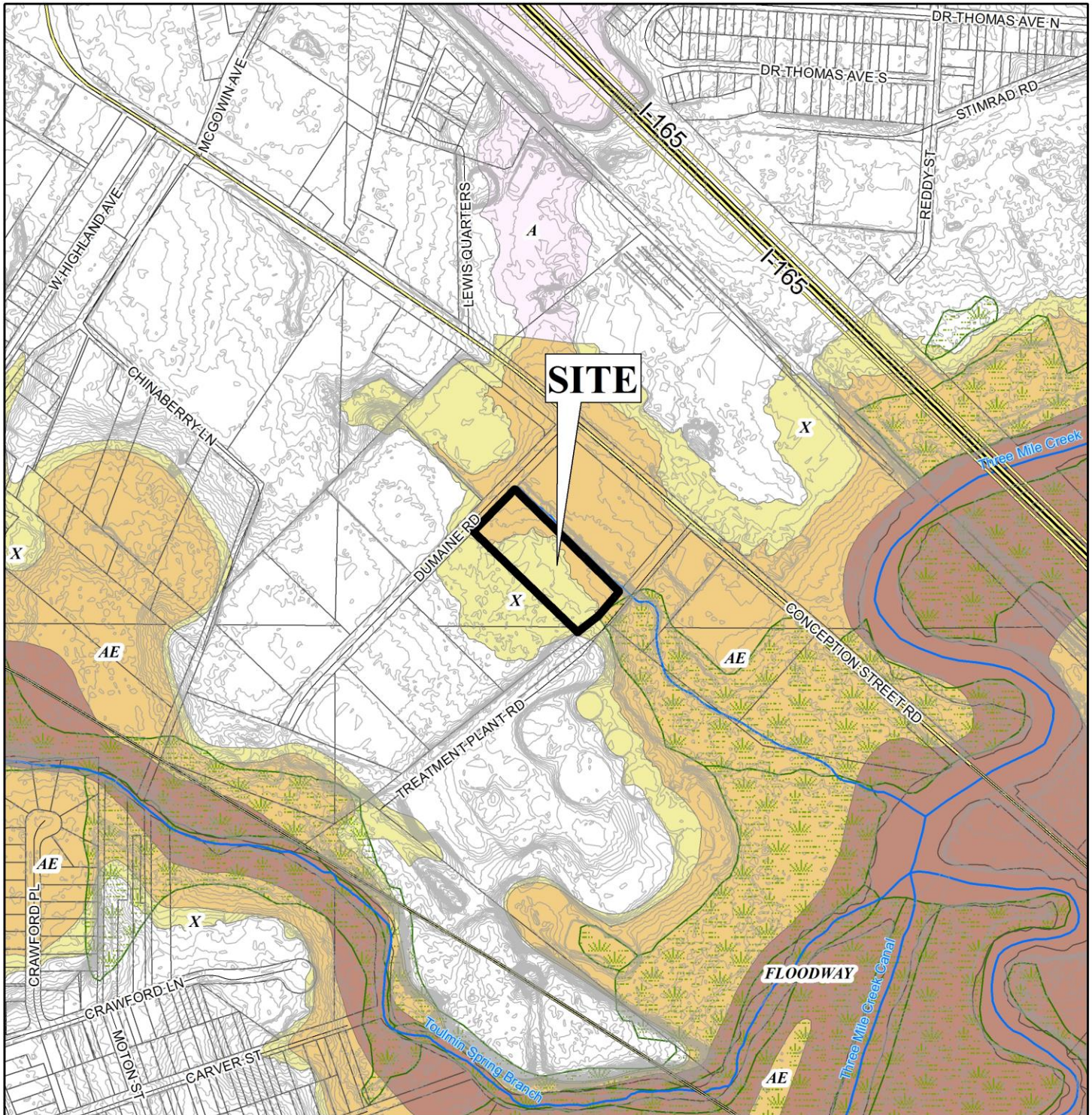
APPLICATION NUMBER 10 DATE April 5, 2018

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REQUEST Planned Unit Development



ENVIRONMENTAL LOCATOR MAP



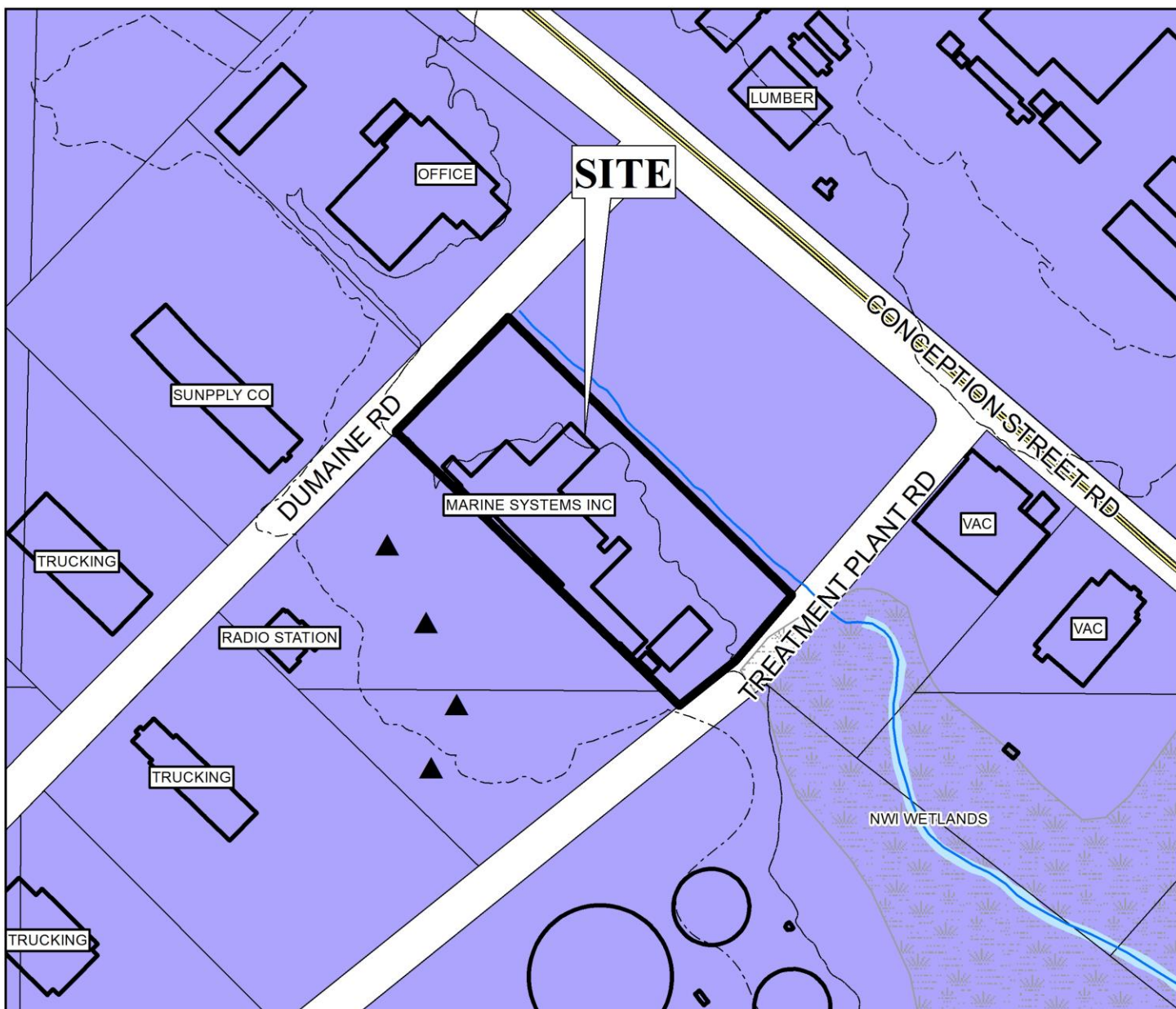
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APPLICANT Saunders Subdivision, Resubdivision of Lot 1

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

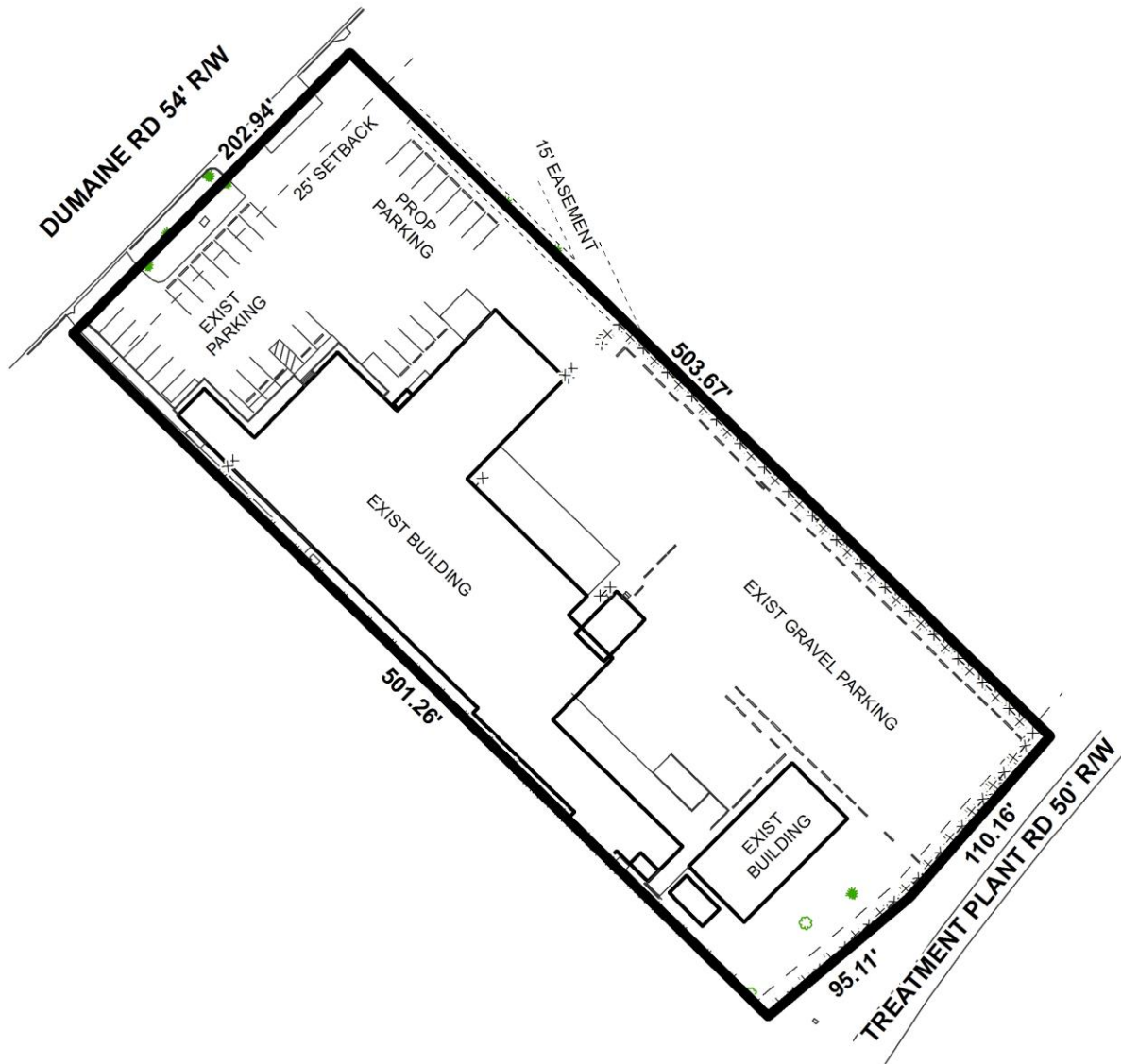


The site is surrounded by commercial units.

APPLICATION NUMBER 10 DATE April 5, 2018
APPLICANT Saunders Subdivision, Resubdivision of Lot 1
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SITE PLAN



The site plan illustrates the existing buildings, existing parking, setbacks, easements, and proposed parking.

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