

SALTAIRE OAKS SUBDIVISON

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 2-lot, 5.2 ± acre subdivision which is located on the Southeast corner of Salt Aire Road and Dauphin Island Parkway. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic system.

The purpose of this application is to create 2 legal lots of record from one metes-and-bounds parcel.

In accordance with the Subdivision Regulations, both proposed lots appear to exceed the minimum lot size requirements, and the 25' minimum building setback line is depicted on the preliminary plat and should be retained on the Final Plat, if approved.

It should be noted that there appears to be a discrepancy between the legal description and plat in reference to the bearings of the Northwest lot line of the proposed Lot 1. Also, the legal description appears to depict the incorrect distance of the Eastern lot line of the proposed Lot 2 and the word "Beginning" is misspelled in relation to the Point of Beginning. If approved, all discrepancies should be corrected on the Final Plat.

The proposed subdivision fronts Salt Aire Road and Dauphin Island Parkway, both minor streets without curb and gutter. As the right-of-way is 80' for both streets, the existing right-of-way is compliant with Section V.B.14. of the Subdivision Regulations and, as such, no dedication should be required.

As a means of access management, a note should be placed on the Final Plat stating that the proposed Lot 1 is denied access to Dauphin Island Parkway and to be limited to the existing curb-cut to Salt Aire Road and the proposed Lot 2 should be limited to one curb-cut to Salt Aire Road. The size, design and location of the new curb-cut along with any changes to the existing curb-cut are to be approved by Mobile County Engineering and conform to AASHTO standards.

GIS data indicates the presence of wetlands on a portion of the site and the presence of the X-Shaded and AE flood zones adjacent to the site due to the site's proximity to Grahams Bayou.

The presence of wetlands and flood zones would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities. A note regarding these requirements should appear on the Final Plat if approved.

This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

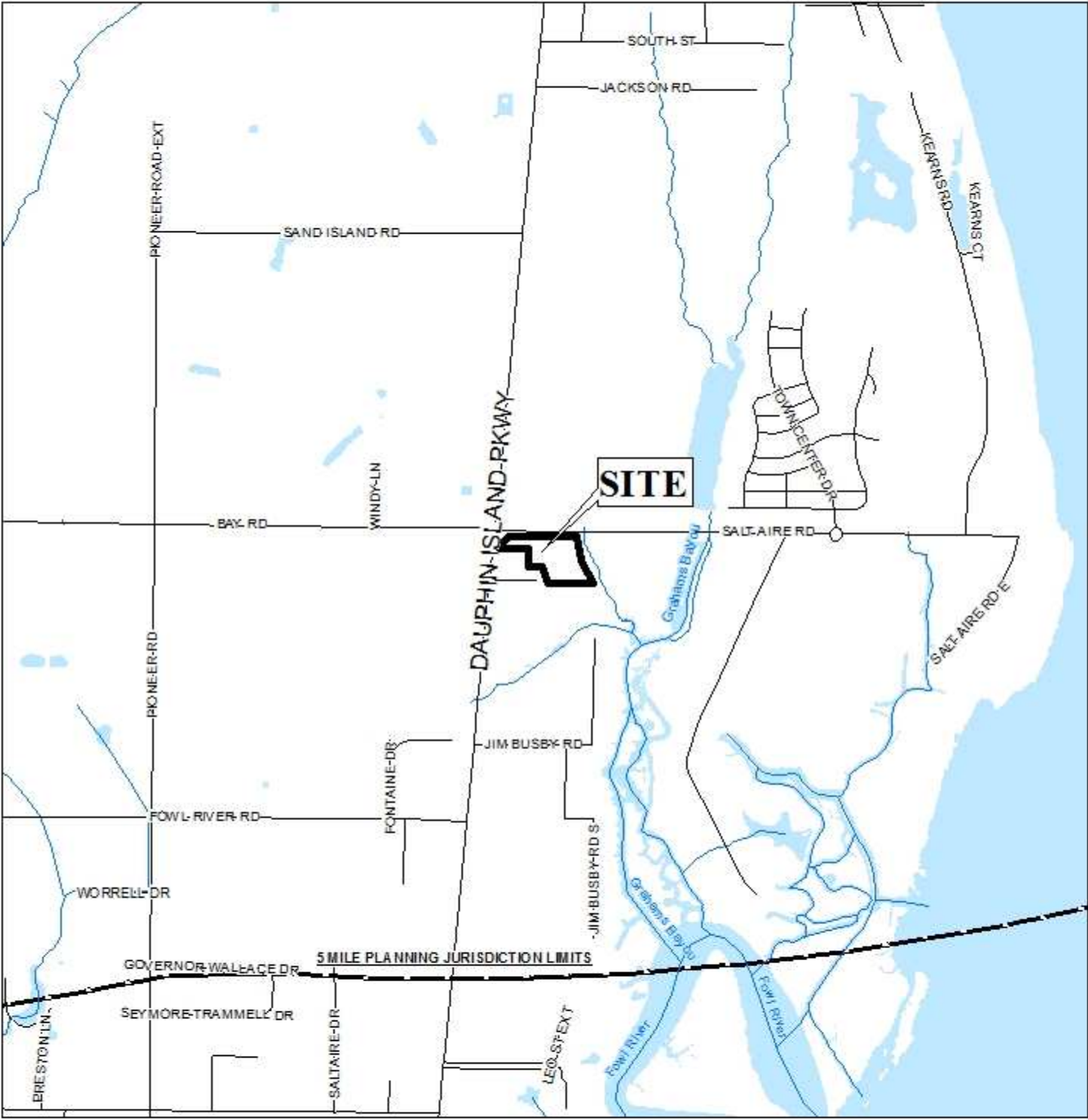
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should be placed on the Final Plat, if approved.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Revision of the Final Plat to depict the correct bearings of the Northwest lot line of Lot 1;
- 2) Revision of the legal description to correct any misspellings or incomplete numbering;
- 3) Retention of the lot size information and 25' minimum building setback line on the Final Plat;
- 4) Placement of a note on the Final Plat stating that Lot 1 is denied access to Dauphin Island Parkway and limited to the existing curb-cut to Salt Aire Road, with any changes to the size, design or location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that Lot 2 is limited to 1 curb-cut to Salt Aire Road, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 6) Placement of a note on the Final Plat stating: *(The approval of all applicable federal, state and local environmental agencies regarding wetlands and flood zones, would be required prior to the issuance of any permits or land disturbance activities.);*
- 7) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*
- 8) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 9) Placement of a note and compliance with Fire Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);* and
- 10) Placement of a note on the Final Plat and compliance with Engineering Comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage*

facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.).

LOCATOR MAP



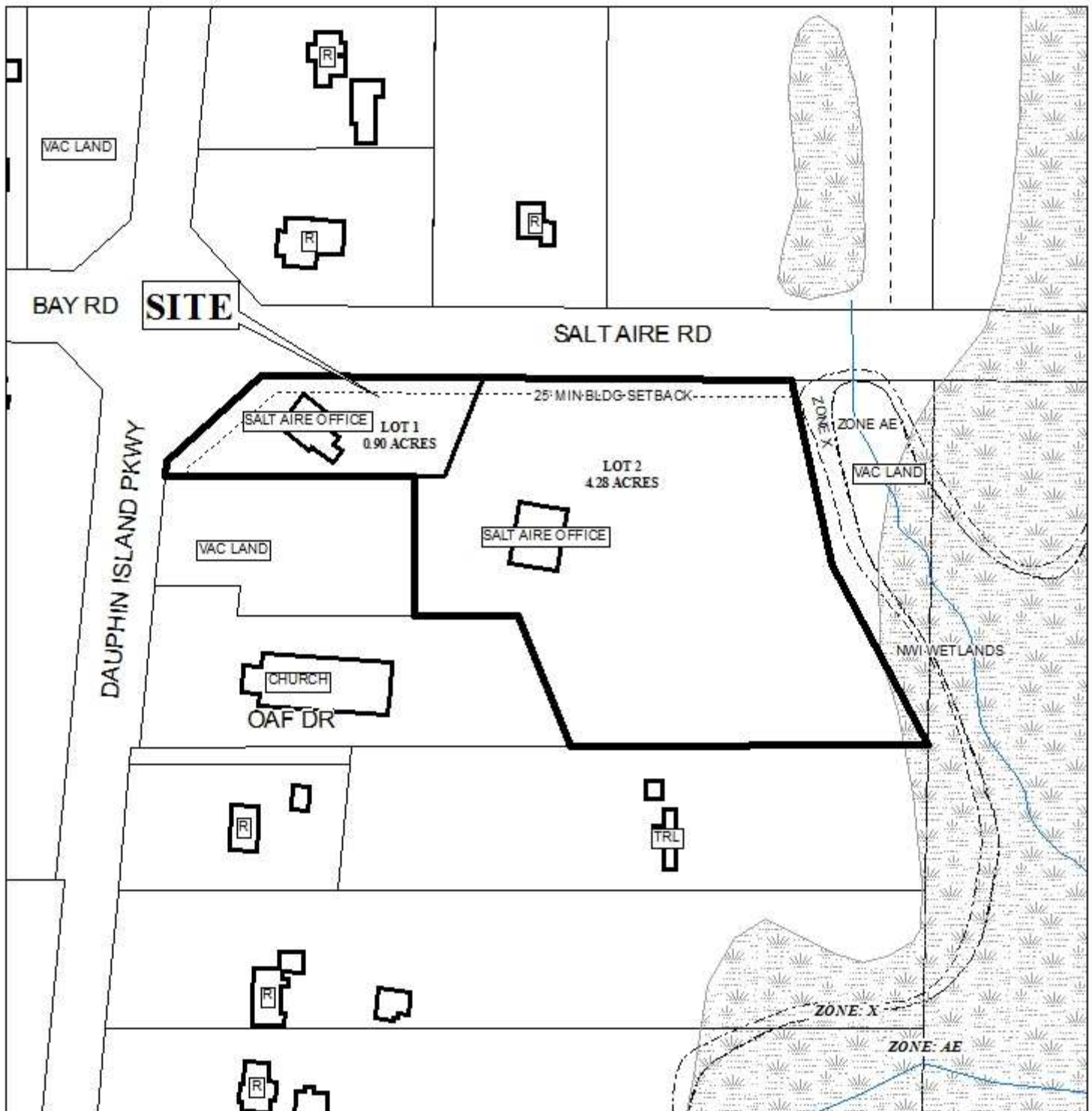
APPLICATION NUMBER 10 DATE June 5, 2014

APPLICANT Saltaire Oaks Subdivision

REQUEST _____ Subdivision _____



SALTAIRE OAKS SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SALTAIRE OAKS SUBDIVISION



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