

**PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: August 5, 2004

<u>DEVELOPMENT NAME</u>	Merrimac Subdivision
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<u>LOCATION</u>	262 and 264 West Drive (West side of West Drive, 125'± South of Northwoods Court)
<u>CITY COUNCIL DISTRICT</u>	District 6
<u>PRESENT ZONING</u>	R-1, Single-Family Residential
<u>AREA OF PROPERTY</u>	19 lots/3.9± Acres
<u>CONTEMPLATED USE</u>	19 lot single-family residential subdivision with reduced front and side setbacks, reduced lot sizes, and 47% site coverage.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Discharge onto adjacent property cannot be increased or concentrated without a hold harmless agreement from the affected property owner. In addition, location where detention pond is shown on preliminary plat is a FEMA designated Floodway. Stormwater detention cannot be located in the Floodway. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Please note that tree removal permits are required for all Live Oak Trees 24" and larger.
<u>REMARKS</u>	The applicant is requesting Planned Unit Development approval to develop a single-family residential, subdivision with reduced

setbacks, lot sizes and increased site coverage; Subdivision approval is required to subdivide the property into 19 lots.

There is a brief history associated with the site. In February 2003, the Planning Commission considered a request for rezoning to R-2, Two-Family Residential, a PUD request for reduced setbacks, reduced lot sizes and increased site coverage (50% site coverage) and subdivision approval to create 23 lots. The Planning Commission approved the PUD and Subdivision requests and recommended approval of the rezoning. However, the applicant did not pursue the rezoning, and all the above approvals have since expired.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The overall site consists of 3.9± acres and deducting for right-of-way and detention, there is adequate area for the overall site to comply with R-1 density requirements. While some individual lots may not contain 7,200 square feet, the overall site area in a PUD is calculated toward density requirements.

In terms the reduced setbacks, the applicant is requesting a 15-foot front yard setback, five-foot side yard setbacks, and 10-foot rear yard setbacks, which are somewhat typical setbacks for a residential PUD. The applicant is also requesting 45% site coverage, which again is a typical request for a residential PUD.

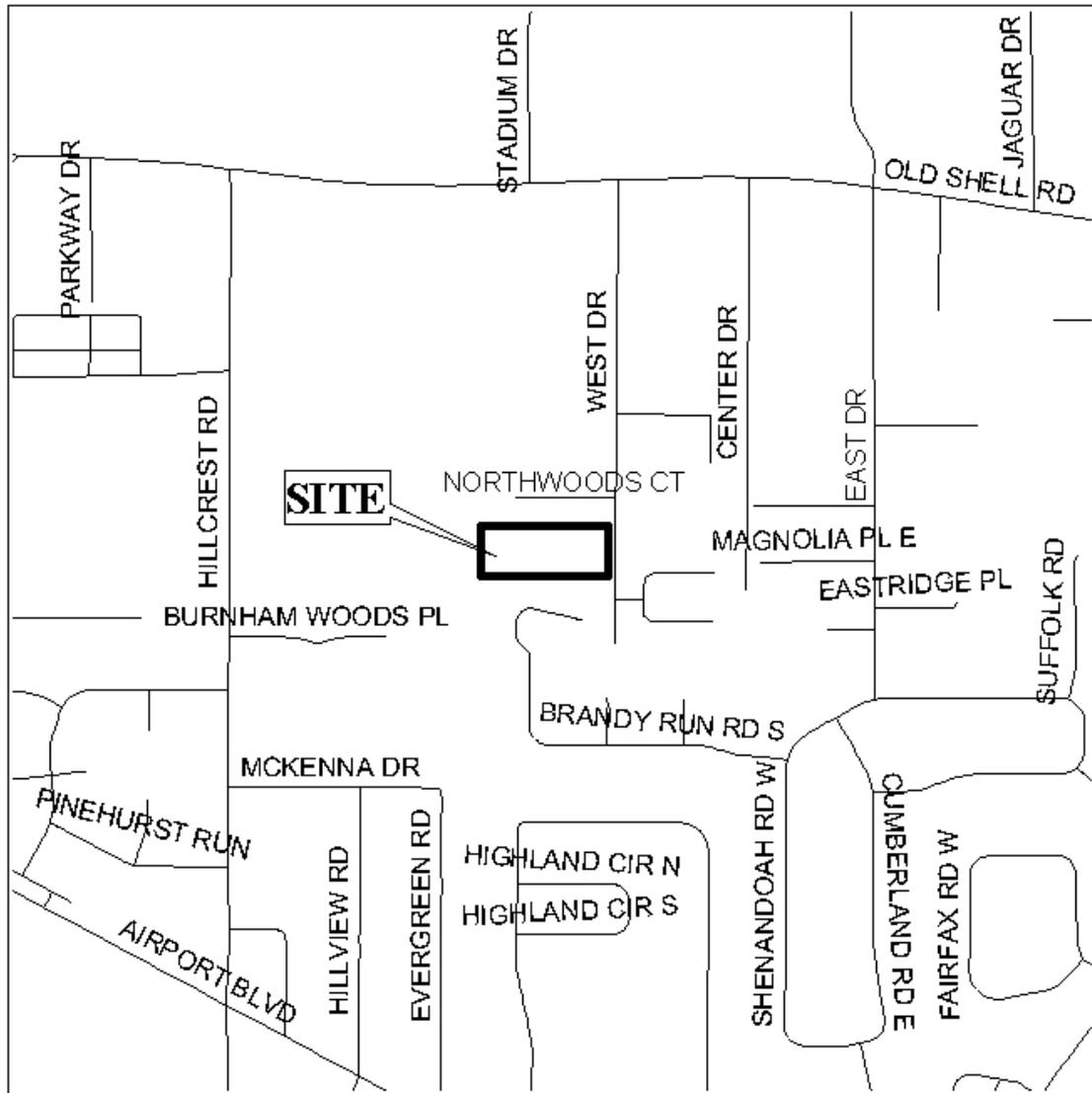
The applicant will divide the property into 19 lots and build a new street. As outlined in the Urban Forestry Comments there are trees located on the site (some within the proposed new street) and removal of those trees will require permitting through the Urban Forester.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the Engineering Comments (discharge onto adjacent property cannot be increased or concentrated without a hold harmless agreement from the affected property owner, location where detention pond is shown on preliminary plat is a FEMA designated Floodway; stormwater detention cannot be located in the Floodway; must comply with all stormwater and flood control ordinances; any work performed in the right of way will require a right of way permit); 2) full compliance with Urban Forestry Comments (property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64), tree removal permits are required for all

Live Oak Trees 24” and larger); and 3) full compliance with all municipal codes and ordinances.

Subdivision: Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the Engineering Comments (discharge onto adjacent property cannot be increased or concentrated without a hold harmless agreement from the affected property owner, location where detention pond is shown on preliminary plat is a FEMA designated Floodway; stormwater detention cannot be located in the Floodway; must comply with all stormwater and flood control ordinances; any work performed in the right of way will require a right of way permit); 2) full compliance with Urban Forestry Comments (property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64), tree removal permits are required for all Live Oak Trees 24” and larger); and 3) full compliance with all municipal codes and ordinances.

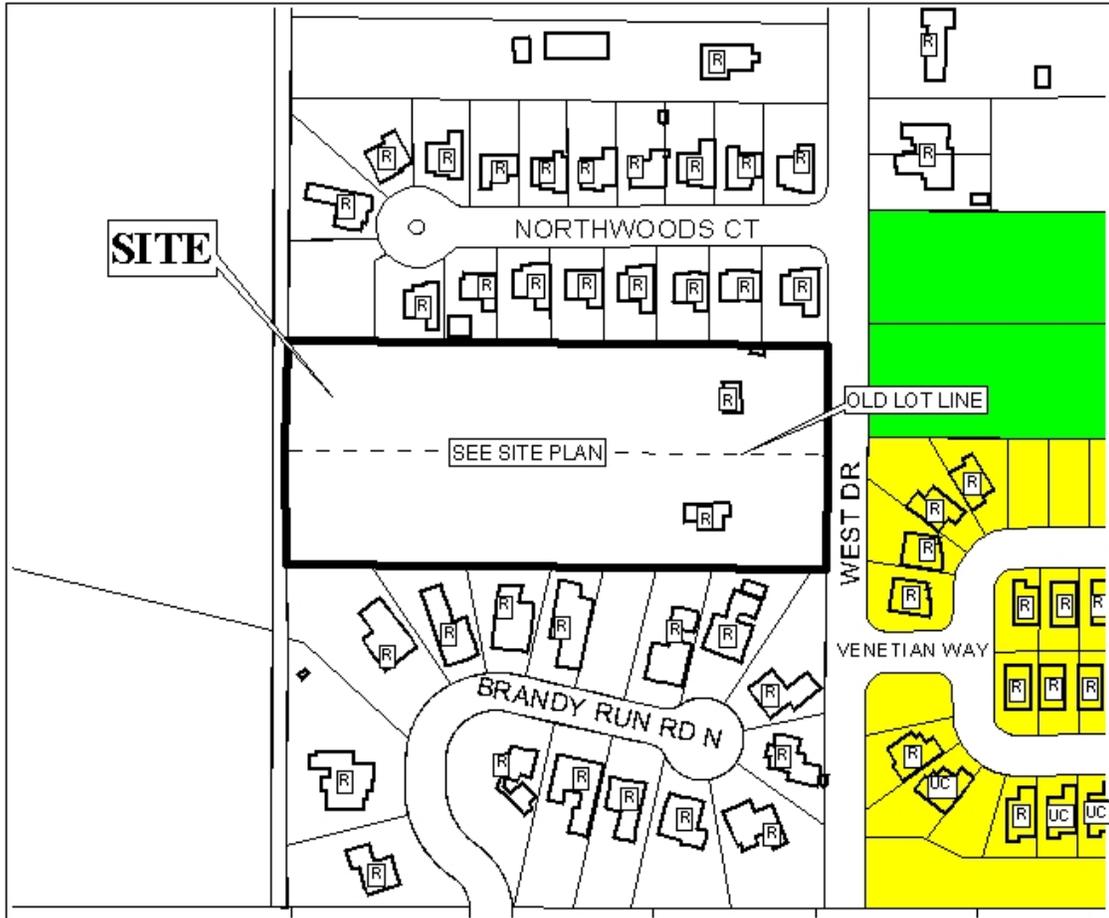
LOCATOR MAP



APPLICATION NUMBER 10, 11 DATE August 5, 2004
APPLICANT Merrimac Subdivision
REQUEST Planned Unit Development and Subdivision



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential dwellings.

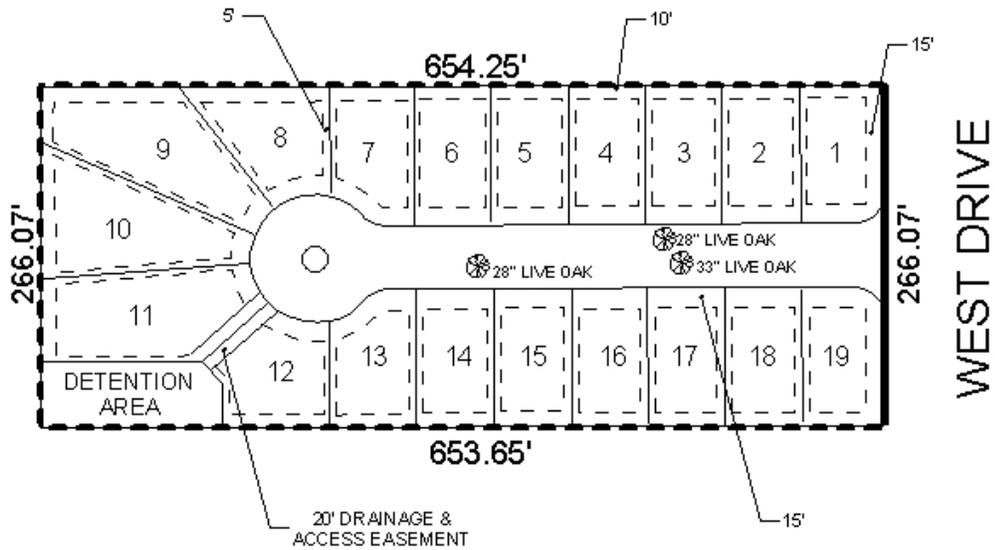
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LEGEND R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2 N NTS

SITE PLAN



The site is located on the West side of West Drive, 125' South of Northwoods Court. The plan illustrates the proposed lots and existing large trees.

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NTS