

**PLANNED UNIT DEVELOPMENT (East),  
PLANNED UNIT DEVELOPMENT (West)  
STAFF REPORT**

**Date: September 18, 2014**

**DEVELOPMENT NAME**

McGowin Park, LLC

**LOCATION**

**PLANNED UNIT DEVELOPMENT (East)**

1401 Satchel Paige Drive

(Northeast corner of Satchel Paige Drive and Bolling Bros Boulevard extending East to the West side of McVay Drive, and extending North to the South side of Government Street).

Council District 3.

**PLANNED UNIT DEVELOPMENT (West)**

1250 and 1400 Satchel Paige Drive

(Northwest corner of Satchel Paige Drive and Bolling Bros Boulevard extending West to the East side of I-65, and extending North to the South side of Government Street).

Council District 4

**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**

B-3, Community Business District

**AREA OF PROPERTY**

**Planned Unit Development (East)** 41.82± Acres

**Planned Unit Development (West)** 47.76± Acres

**CONTEMPLATED USE**

**Planned Unit Development (East)** Planned Unit Development Approval to amend a previously approved PUD to allow multiple buildings on a single building site and allow shared access and parking; and to approve a general sign package for the development.

**Planned Unit Development (West)** Planned Unit Development Approval to amend a previously approved PUD to allow multiple buildings on a single building site and allow shared access and parking; and to approve a general sign package for the development.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Begin immediately

## **ENGINEERING**

### **COMMENTS**

#### **PUD (East) No New Comments – Previous comments are still applicable**

1. Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
2. Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters:
  - i. 5-13-2009 Policy Letter (Car wash drains and dumpster pads to drain to Sanitary Sewer System)
  - ii. 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping)
  - iii. 3-18-2004 Policy Letter (Additional subdivision street requirements)

#### **PUD (West) No New Comments – Previous comments are still applicable**

1. Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
2. Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters:
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  - iii. 3-18-2004 Policy Letter (Additional subdivision street requirements)

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Driveway number, size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. A traffic impact study was completed for this site and approved by both the City and ALDOT. Development is contingent upon completion of off-site improvements, as indicated in the study.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 50" Live Oak Tree located on the North East side of Lot 10. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

## **MAWSS**

### **COMMENTS**

MAWSS has water and sewer services available.

## **REMARKS**

The applicant is requesting Planned Unit Development Approval to develop the overall site in question as a retail and restaurant complex, consisting of multiple buildings on multiple lots with both public and private street access. To simplify phasing and possible future amendments, the overall site is being split into two PUD Applications – McGowin Park West Development and McGowin Park East Development, on the West and East sides of Satchel Paige Boulevard respectively.

The site was the subject of PUD and Subdivision applications which were approved in November and December 2013, and again in April 2014 slightly modifying 2 lots and establishing a sign package for the development. The applicant is now seeking to amend the PUD, simply modifying the sign package. While the proposed amendment(s) is significant enough to require new approvals, they are not significant enough to have a negative impact on the previous approval or the surrounding properties. As this application is very similar to the application of April 2014, much of the staff report will be the same. Additionally, previous conditions will remain applicable and placed on these requests if approved because each amendment is considered a new PUD and if the conditions are not included, they would no longer apply to the development.

The McGowin Park East Development consists of 41.82 acres and is bordered by Government Boulevard, Satchel Paige Drive, Bulling Brothers Boulevard, and McKay Drive. The development consists of a 251,410 sf retail shopping center, 5 restaurant pads, and 4.87 acres of outparcels. The parking for the restaurant pads will be integral with the shopping center and will be constructed in the initial phase, however, the buildings will be developed individually. The outparcels will also be developed individually and will contain on-site parking for each use. The shopping center and primary parking area will be developed in the initial phase.

Two of the outparcels referenced above are the subject of a one lot Subdivision Application on this agenda (Item 6). That application is to combine the two outparcels into one legal lot of record. Typically, applications such as that are not of major concern; however, as the lots are part of the overall McGowin Park PUD, a higher level of scrutiny relating to access and circulation was required. Therefore, the conditions related to access and circulation refer to compliance with the approved PUD plan for McGowin Park.

The McGowin Park West Development consists of 47.76 acres and lies between I-65 and Satchel Paige Boulevard. The development consists of a 148,000 sf anchor store with an associated gas station, an 89,600 sf shopping center, and 7.41 acres of outparcel area for future development. The parking lot for the existing theater is being reconstructed to allow for a more efficient design. The theater is included in the overall PUD acreage. The theater parking lot relocation, shopping center, and large anchor store will be constructed in the initial phase and the outparcels will be developed individually.

The applicant has provided the following information regarding the proposed sign packages as justification and detailed descriptions for the East and West PUD's.

The purpose and intent of the Comprehensive Signage Package for McGowin Park- East and West Developments (CSP) is to establish the requirement for locations, numbers, types and sizes of on-premise signs that are appropriate to the size and character of the development and the zoning district while maintaining the protective elements of Section 64-11 (1) "Title and Statement of Purpose" of the Mobile Zoning Ordinance. In addition, the CSP intends to promote adequate means of communication through signage that provide for: the attractive visual appearance with the city, order and meaning to business identification, and ease of public and business delivery systems to locate their destinations.

The location of this development needs appropriate signage not only for the safe routing of internal and neighborhood traffic, but also for the traveling public using I-65 and Government Boulevard. Appropriate signage within the development will also encourage the desired internal capture of vehicular traffic. Buildings within this complex may be situated so that they are not visible from exterior roadways. It will be necessary to allow signage on any side of buildings facing perimeter roads: I-65, Government Boulevard, Satchel Paige Drive, McVay Drive North and Bolling Brothers Boulevard.

It is intended that previously approved signage for McGowin ParkWest Development; Parcel B-Lot 17 be a part of this CSP.

While the sign packages as described below may not technically comply with the strict provisions of the sign regulations, given the size and nature of the development and comprehensive nature of the proposed sign packages as explained above, allowance of the sign package as proposed could be considered appropriate to the development.

- Freestanding Signs: Two Freestanding Signs are a part of this project; a 50' tall sign on McGowin Park- West Development and a 30' tall sign on McGowin Park- East Development. Both are located on Sheet CSP- 02 and depicted for size and character on Sheet CSP-03.
- Monument Signs: Monument signs shall be allowed in numbers and locations shown on Sheet CSP-02 and as depicted for size and character on Sheet CSP-04. Each Outparcel lot shall be allowed one (1) monument sign.

For the purpose of wall signs the following are different building types within the overall development:

- Anchor Tenant Building shall be defined as a tenant space exceeding 12,000 square feet. These tenants shall be allowed additional signage size and types as depicted within the CSP in keeping with the tenant's "national branding". East Development (Parcel A'- Lot 11) Anchor tenants shall be allowed rear wall signs not to exceed three-hundred-fifty (350) square feet and signage at rear service door(s).
- Retail Tenant Building shall be defined as a single tenant up to 12,000 square feet that is not a part of a Multi-tenant Shops Building and has a building depth that exceeds 100'. Wall signage requirements shall conform to those of "In-line Multi-tenant Shops Buildings".
- In-Line Multi-tenant Shops Building shall be defined as a building not exceeding 100' in depth that contains multiple tenants of varying widths. Signage requirements shall be as follows and as depicted on Sheets CSP-07 and CSP-09: Wall signs, canopy signs, projecting (blade) signs and

window signs may be used in any combination and the sum of the square footage of all sign types may not exceed 30% (thirty percent) of the tenant's wall area- as defined as the frontage distance from Lease Line to Lease Line multiplied by the building height from floor to top of the parapet. End tenants not adjoining an adjacent tenant shall be allowed signage on the side wall as described above except that the wall area for side-wall signage shall be defined as the wall area for the tenant's front facade. At the rear walls of tenant spaces, each tenant shall be allowed only a wall sign and signage on rear service door(s). The wall sign for rear walls shall be restricted to the size no greater than the tenant's front facade wall sign.

- Freestanding Multi-tenant Shops Building shall be defined as a building that does not abut an Anchor Tenant or Retail Tenant building and that contains multiple tenants. Signage requirements for wall areas shall conform to "In-line Multi-tenant Shops Buildings".
- Freestanding Single-tenant Retail Building shall be defined as a single-tenant building that is the only building located on a subdivide Lot. In addition to one monument sign, the tenant shall be allowed signage on three (3) sides of the building. Signage for these building faces shall be per the front and side wall requirements of "In-line Multi-tenant Shops Building" above.

The requirements as set forth in the City of Mobile Code of Ordinances Chapter 64-Zoning; Section 64-11 "Sign regulation provisions" shall govern where not specifically addressed within this Comprehensive Signage Package. 4.2 Minor deviations to requirements of this CSP may be made by City of Mobile Urban Development staff with the written authorization of the Developer. 4.3 All other signs allowed by or determined to not require permit by Chapter 64-Zoning, Section 64-11 shall be permitted.

Due to the size of this development, the City of Mobile and ALDOT required a Traffic Impact Analysis to be performed. The study assumed full build out of the development, including the outparcels and restaurant pads. The scope of the study included Government Boulevard between the I-65 interchange and McKay Drive, Satchel Paige Blvd between Government Boulevard and Halls Mills Road, and McKay Drive between Government Boulevard and Halls Mills Road. The study has been reviewed and approved by the City of Mobile and ALDOT and a diagram of the recommended improvements are included with each PUD application. The off-site road improvements, including the widening of Satchel Paige Boulevard, will be constructed in the initial phase of each PUD. Upon completion of the initial phase of construction, ALL recommended improvements – both on and off site – will have been completed

The developer has worked closely with ALDOT and the City of Mobile during the design process to ensure that the development complies with access management programs. In addition, a meeting was held between the applicant, several of the nearby businesses most impacted by the required changes to Government Boulevard, ALDOT, and City staff from Engineering, Traffic Engineering, and the Planning Section of Urban Development to discuss the impact of the changes and the development.

Wetlands are present on the site. The presence of wetlands indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities (other than clearing). The developer has received approval from the Corps of Engineers for their mitigation plan.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

As stated above, the site has frontage on McKay, Government Boulevard, Satchel Paige Drive and Bolling Brothers Boulevard – all public streets. The development also proposes internal streets for access and circulation. During a predevelopment meeting it was discussed that all access streets are to be built to city standards. In addition, the construction of sidewalks along all street frontages, including private streets was discussed. It was noted that in some instances due to right-of-way alignment, sidewalks would have to be constructed on private property and that no easement would be required. The PUD plans have been revised to reflect the provision of sidewalks as discussed and required on the previous approval(s).

With regard to landscaping and tree planting requirements, the landscape and tree plan submitted meet or exceed the minimum requirements.

The site plan depicts the location of some dumpsters or compactors. The Zoning Ordinance requires that they be screened and that they be connected to the Sanitary Sewer. If locations change or dumpsters not shown on the PUD plans (and that impact traffic circulation) are proposed or there are significant changes to circulation when plans are submitted for permitting, new PUD application(s) will be required.

The dimensions of the individual drive-through lanes for the gas station are not indicated; however, they are shown to be striped for one-way traffic and provide 28' from island curb to island curb. This striping and width is more than adequate too allow proper circulation.

Lighting of the site must comply with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application for PUD approval must be made prior to any construction activities.

## **RECOMMENDATION**

**Planned Unit Development (East):** Based upon the preceding, this application is recommended for **APPROVAL** subject to the following conditions:

1. completion of the subdivision process prior to the issuance of permits for actual building construction (Land Disturbing and Right-of-Way permits for road construction would be appropriate during this time frame);

2. compliance with Engineering Department Comments: *(No new comments, previous comments still apply: (1) Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. (2) Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters: (i.) 5-13-2009 Policy Letter (Car wash drains and dumpster pads to drain to Sanitary Sewer System) (ii.) 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping) (iii) 3-18-2004 Policy Letter (Additional subdivision street requirements));*
3. compliance with traffic engineering comments *(Driveway number, size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. A traffic impact study was completed for this site and approved by both the City and ALDOT. Development is contingent upon completion of off-site improvements, as indicated in the study);*
4. compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
5. compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 50" Live Oak Tree located on the South West corner of proposed development along McKay Drive. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.);*
6. approval of all applicable federal, state and local agencies required prior to the issuance of any permits or land disturbance activities (other than clearing);
7. development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
8. ALL recommended traffic and access improvements – both on and off site – are to be completed simultaneous or before completion of the initial phase of construction;
9. all internal road construction (public and private) to be to City standards;
10. construction of sidewalks along all road frontages (public and private) as shown on the PUD Plan, due to right-of-way alignment, some sidewalks may have to be constructed on private property (easements shall not be required);  
limited to the sign package as revised for and described in this application and noted on the submitted drawings *(a 30' tall free-standing multi-tenant sign on McGowin Park- East Development along I-65, and located on Sheet CSP- 02 and depicted for size and character on Sheet CSP-03; Monument signs shall be allowed in numbers and locations shown on Sheet CSP-02 and as depicted for size and character on Sheet CSP-04. Each Outparcel lot shall be allowed one (1) monument sign; For the purpose of wall signs the following are different building types within the overall development: Anchor Tenant Building shall be defined as a tenant space exceeding 12,000 square feet. These tenants shall be allowed additional signage size and types as depicted within the CSP in keeping with the tenant's "national branding". East Development*

(Parcel'A'- Lot 11) Anchor tenants shall be allowed rear wall signs not to exceed three-hundred-fifty {350} square feet and signage at rear service door(s); ); Retail Tenant Building shall be defined as a single tenant up to 12,000 square feet that is not a part of a Multi-tenant Shops Building and has a building depth that exceeds 100'. Wall signage requirements shall conform to those of "In-line Multi-tenant Shops Buildings"; In-Line Multi-tenant Shops Building shall be defined as a building not exceeding 100' in depth that contains multiple tenants of varying widths. Signage requirements shall be as follows and as depicted on Sheets CSP-07 and CSP-09: Wall signs, canopy signs, projecting (blade) signs and window signs may be used in any combination and the sum of the square footage of all sign types may not exceed 30% (thirty percent) of the tenant's wall area- as defined as the frontage distance from Lease Line to Lease Line multiplied by the building height from floor to top of the parapet. End tenants not adjoining an adjacent tenant shall be allowed signage on the side wall as described above except that the wall area for side-wall signage shall be defined as the wall area for the tenant's front facade. At the rear walls of tenant spaces, each tenant shall be allowed only a wall sign and signage on rear service door(s). The wall sign for rear walls shall be restricted to the size no greater than the tenant's front facade wall sign; Freestanding Multi-tenant Shops Building shall be defined as a building that does not abut an Anchor Tenant or Retail Tenant building and that contains multiple tenants. Signage requirements for wall areas shall conform to "In-line Multi-tenant Shops Buildings"; Freestanding Single-tenant Retail Building shall be defined as a single-tenant building that is the only building located on a subdivide Lot. In addition to one monument sign, the tenant shall be allowed signage on three (3) sides of the building. Signage for these building faces shall be per the front and side wall requirements of "In-line Multi-tenant Shops Building" above. The requirements as set forth in the City of Mobile Code of Ordinances Chapter 64-Zoning; Section 64-11 "Sign regulation provisions" shall govern where not specifically addressed within this Comprehensive Signage Package. Minor deviations to requirements of this CSP may be made by City of Mobile Urban Development staff with the written authorization of the Developer. All other signs allowed by or determined to not require permit by Chapter 64-Zoning, Section 64-11 shall be permitted.);

11. compliance with landscaping and tree planting requirements;
12. retention of dumpster and/or compactor locations, screening, and notation of connection to sanitary sewer on the final PUD site plan, as well as on all site plans for permitting;
13. lighting of the site must comply with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance;
14. submission of a revised PUD site plan depicting compliance with all conditions prior to the issuance of permits for building construction (including but not limited to photometric plan for parking lot lighting); and
15. full compliance with all other municipal codes and ordinances.

**Planned Unit Development (West):** Based upon the preceding, this application is recommended for **APPROVAL** subject to the following conditions:

1. completion of the subdivision process prior to the issuance of permits for actual building construction (Land Disturbing and Right-of-Way permits for road construction would be appropriate during this time frame);
2. compliance with Engineering Department Comments: *(No new comments, previous comments still apply: (1) Each Lot Owner shall be required to submit a Land Disturbance Permit application for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. (2)*



*Add a note to the PUD Plan stating that the proposed development must comply with all Engineering Department Policy Letters: (i.) 5-13-2009 Policy Letter (Car wash drains and dumpster pads to drain to Sanitary Sewer System) (ii.) 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping) (iii) 3-18-2004 Policy Letter (Additional subdivision street requirements));*

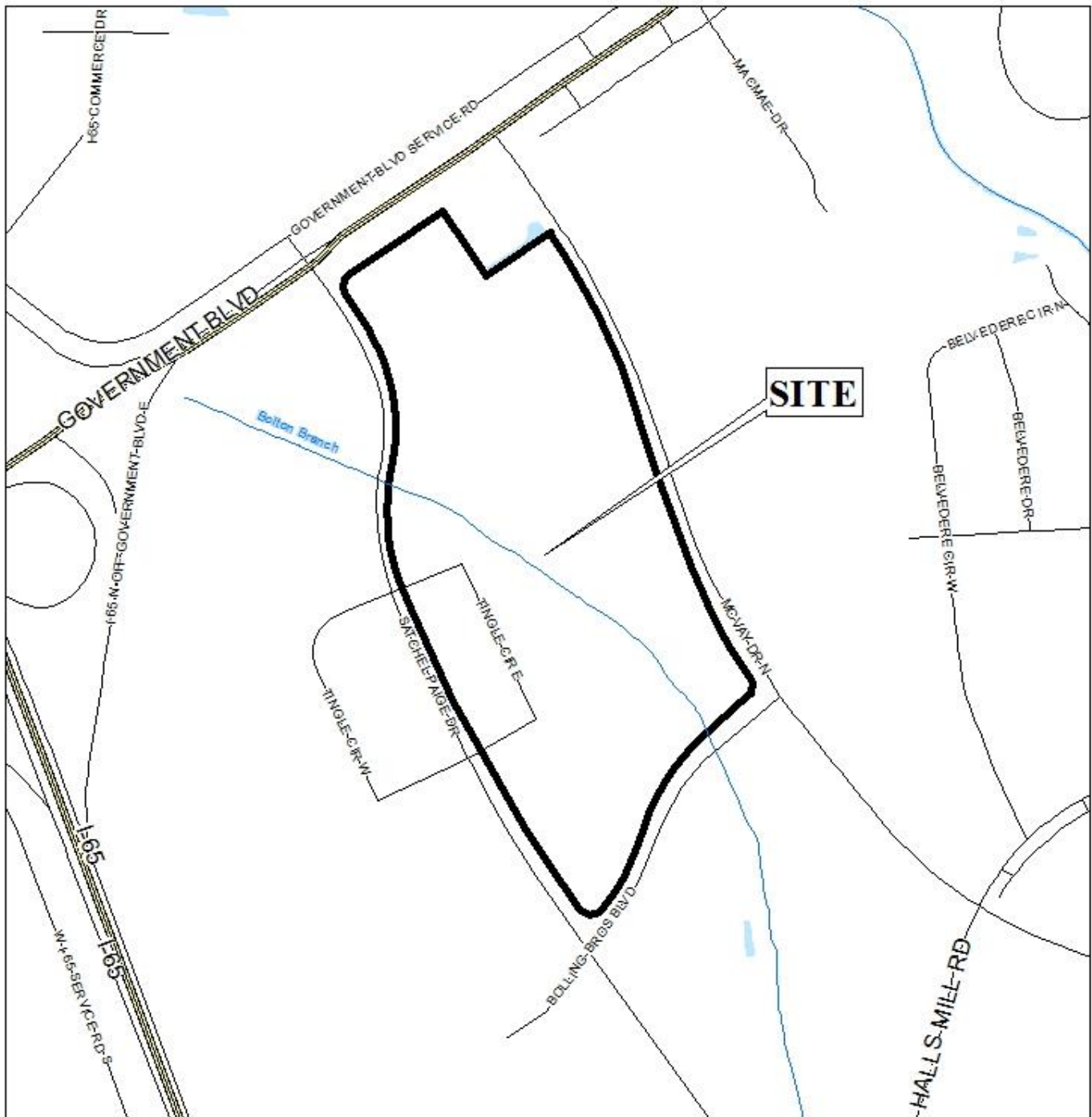
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4. *compliance with Fire Department comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
5. *compliance with Urban Forestry Comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 50" Live Oak Tree located on the South West corner of proposed development along McKay Drive. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.);*
6. *approval of all applicable federal, state and local agencies required prior to the issuance of any permits or land disturbance activities (other than clearing);*
7. *development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;*
8. *ALL recommended traffic and access improvements – both on and off site – are to be completed simultaneous or before completion of the initial phase of construction;*
9. *all internal road construction (public and private) to be to City standards;*
10. *construction of sidewalks along all road frontages (public and private) as shown on the PUD Plan, due to right-of-way alignment, some sidewalks may have to be constructed on private property (easements shall not be required);*

*limited to the sign package as revised and described in the application (Freestanding Signs: a 50' tall free-standing multi-tenant sign on McGowin Park- West Development as located on Sheet CSP- 02 and depicted for size and character on Sheet CSP-03; Monument Signs: Monument signs shall be allowed in numbers and locations shown on Sheet CSP-02 and as depicted for size and character on Sheet CSP-04. Each Outparcel lot shall be allowed one (1) monument sign. For the purpose of wall signs the following are different building types within the overall development: Anchor Tenant Building shall be defined as a tenant space exceeding 12,000 square feet. These tenants shall be allowed additional signage size and types as depicted within the CSP in keeping with the tenant's "national branding". East Development (Parcel A'- Lot 11) Anchor tenants shall be allowed rear wall signs not to exceed three-hundred-fifty (350) square feet and signage at rear service door(s). Retail Tenant Building shall be defined as a single tenant up to 12,000 square feet that is not a part of a Multi-tenant Shops Building and has a building depth that exceeds 100'. Wall signage requirements shall conform to those of "In-line Multi-tenant Shops Buildings". In-Line Multi-tenant Shops Building shall be defined as a building not exceeding 100' in depth that contains multiple tenants of varying widths. Signage requirements shall be as follows and as depicted on Sheets CSP-07 and CSP-09: Wall signs, canopy signs, projecting (blade) signs and window signs may be used in any combination and the*

*sum of the square footage of all sign types may not exceed 30% (thirty percent) of the tenant's wall area- as defined as the frontage distance from Lease Line to Lease Line multiplied by the building height from floor to top of the parapet. End tenants not adjoining an adjacent tenant shall be allowed signage on the side wall as described above except that the wall area for side-wall signage shall be defined as the wall area for the tenant's front facade. At the rear walls of tenant spaces, each tenant shall be allowed only a wall sign and signage on rear service door(s). The wall sign for rear walls shall be restricted to the size no greater than the tenant's front facade wall sign. Freestanding Multi-tenant Shops Building shall be defined as a building that does not abut an Anchor Tenant or Retail Tenant building and that contains multiple tenants. Signage requirements for wall areas shall conform to "In-line Multi-tenant Shops Buildings". Freestanding Single-tenant Retail Building shall be defined as a single-tenant building that is the only building located on a subdivided Lot. In addition to one monument sign, the tenant shall be allowed signage on three (3) sides of the building. Signage for these building faces shall be per the front and side wall requirements of "In-line Multi-tenant Shops Building" above. The requirements as set forth in the City of Mobile Code of Ordinances Chapter 64-Zoning; Section 64-11 "Sign regulation provisions" shall govern where not specifically addressed within this Comprehensive Signage Package. Minor deviations to requirements of this CSP may be made by City of Mobile Urban Development staff with the written authorization of the Developer. All other signs allowed by or determined to not require permit by Chapter 64-Zoning, Section 64-11 shall be permitted.);*

11. compliance with landscaping and tree planting requirements;
12. retention of dumpster and/or compactor locations, screening, and notation of connection to sanitary sewer on the final PUD site plan, as well as on all site plans for permitting;
13. lighting of the site must comply with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance;
14. submission of a revised PUD site plan depicting compliance with all conditions prior to the issuance of permits for building construction (including but not limited to photometric plan for parking lot lighting); and
15. full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 10 DATE September 18, 2014

APPLICANT McGowin Park East

REQUEST Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 10 DATE September 18, 2014

APPLICANT McGowin Park East

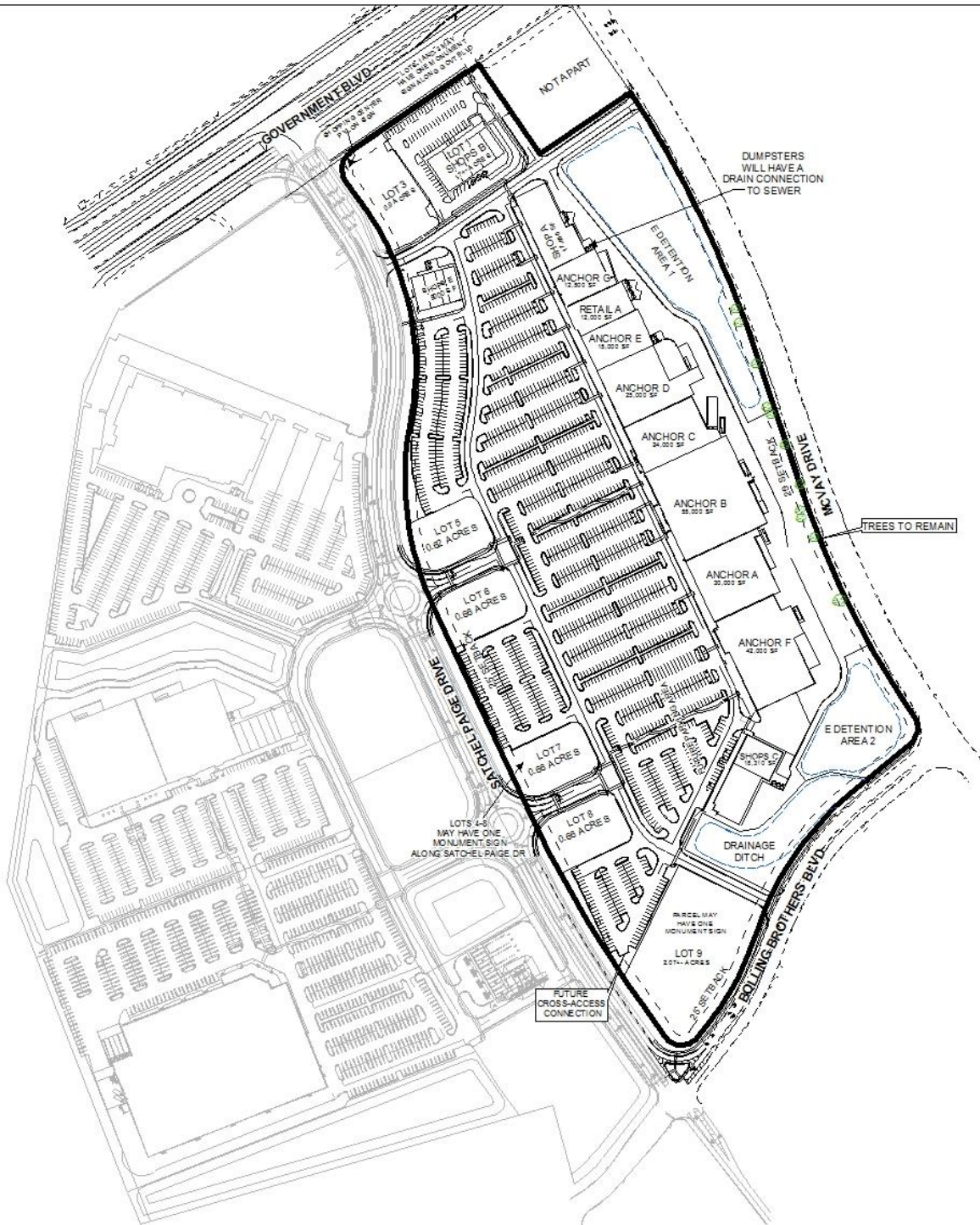
REQUEST Planned Unit Development

|     |     |      |     |     |      |       |      |
|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B  | B-2 | B-5 | MUN  | SD-WH | T5.1 |
| R-1 | R-B | B-1  | B-3 | I-1 | OPEN | T3    | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD   | T4    | T6   |

N  
NTS



# SITE PLAN



The site plan illustrates the proposed lots, future parking area, anchors, detention areas, and shops.

APPLICATION NUMBER 10 DATE September 18, 2014  
 APPLICANT McGowin Park, East  
 REQUEST Planned Unit Development



NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 10 DATE September 18, 2014

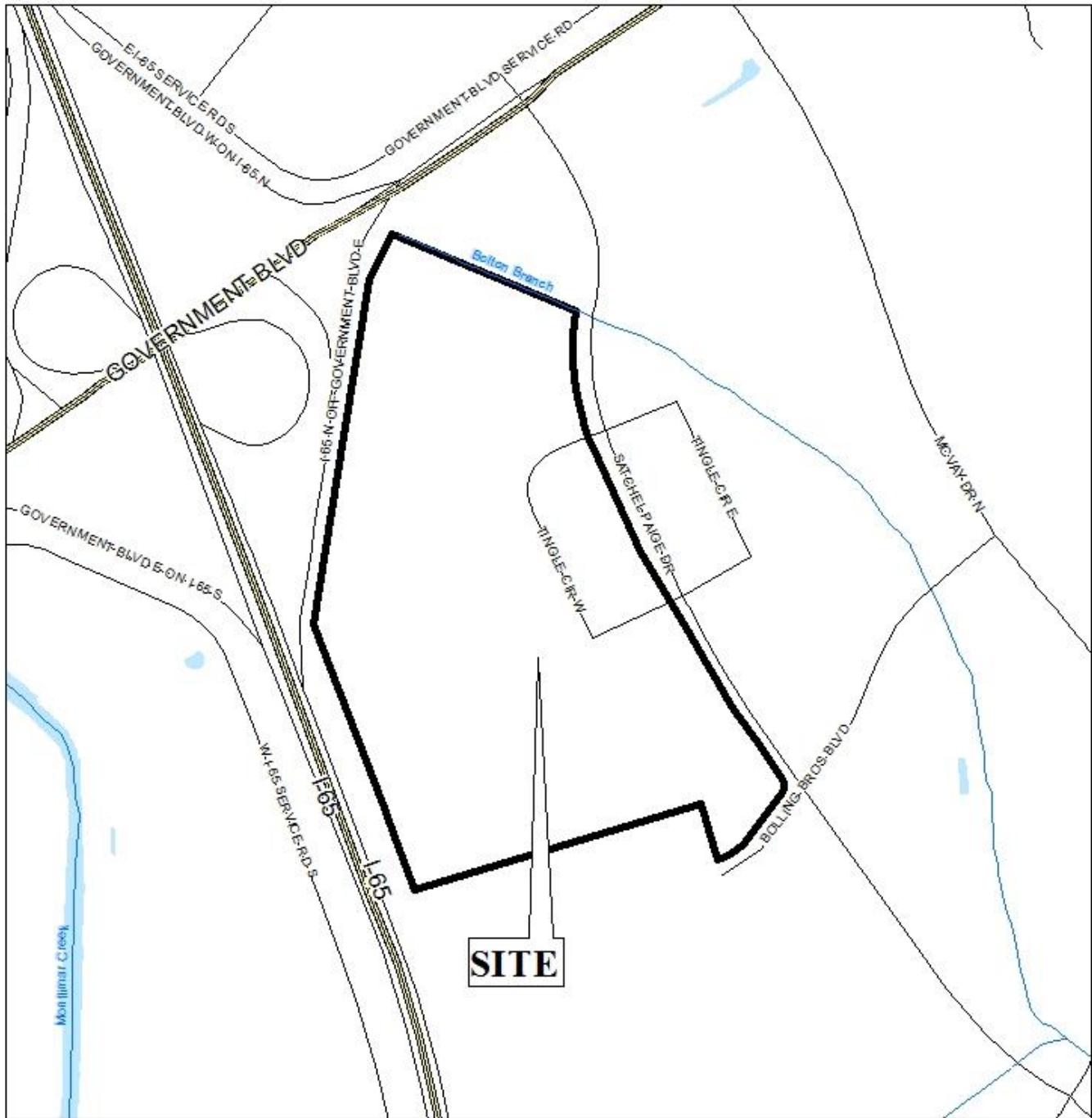
APPLICANT McGowin Park **East**

REQUEST Planned Unit Development



NTS

## LOCATOR MAP



APPLICATION NUMBER 10 DATE September 18, 2014

APPLICANT McGowin Park West

REQUEST Planned Unit Development





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 10 DATE September 18, 2014

APPLICANT McGowin Park West

REQUEST Planned Unit Development

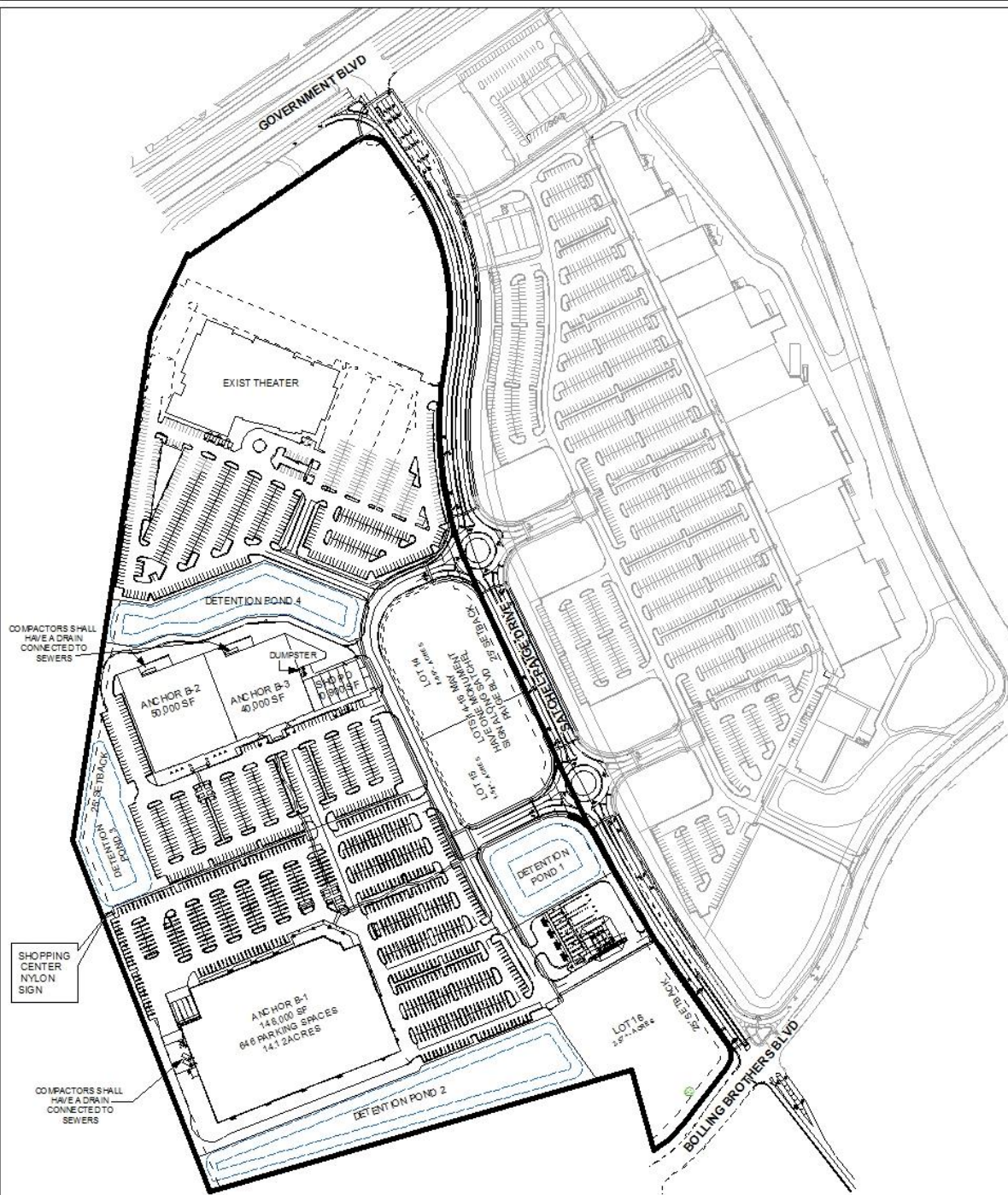
|     |     |      |     |     |      |       |      |
|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B  | B-2 | B-5 | MUN  | SD-WH | T5.1 |
| R-1 | R-B | B-1  | B-3 | I-1 | OPEN | T3    | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD   | T4    | T6   |



NTS



# SITE PLAN



The site plan illustrates the existing theater, anchors, detention areas, parking, lots, and shop D.

APPLICATION NUMBER 10 DATE September 18, 2014

APPLICANT McGowin Park, West

REQUEST Planned Unit Development



NTS



PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 10 DATE September 18, 2014

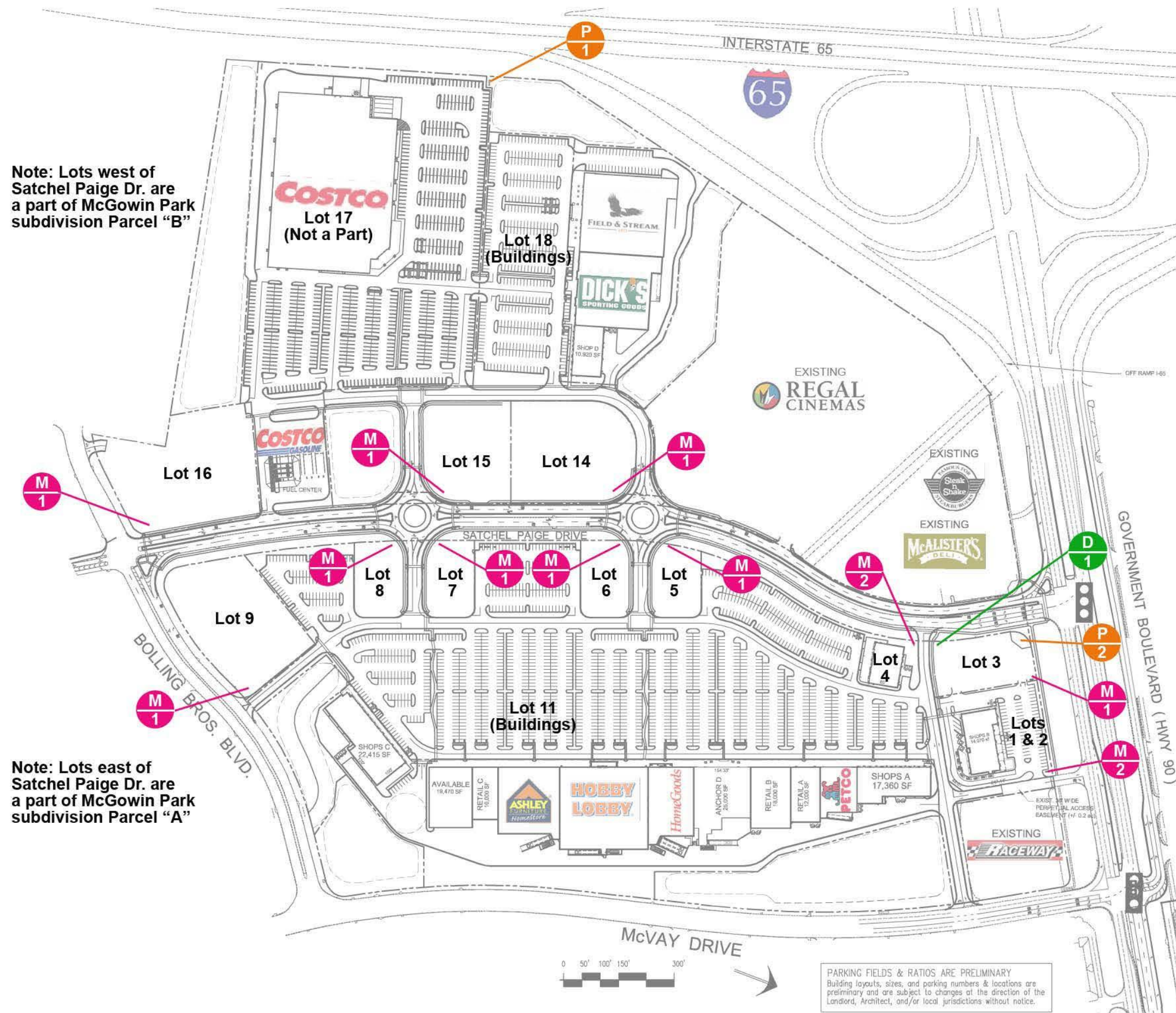
APPLICANT McGowin Park **West**

REQUEST Planned Unit Development



NTS





## McGOWIN PARK RETAIL CENTER

### Comprehensive Signage Package

August 18, 2014

Revised 09-05-14

#### Legend:

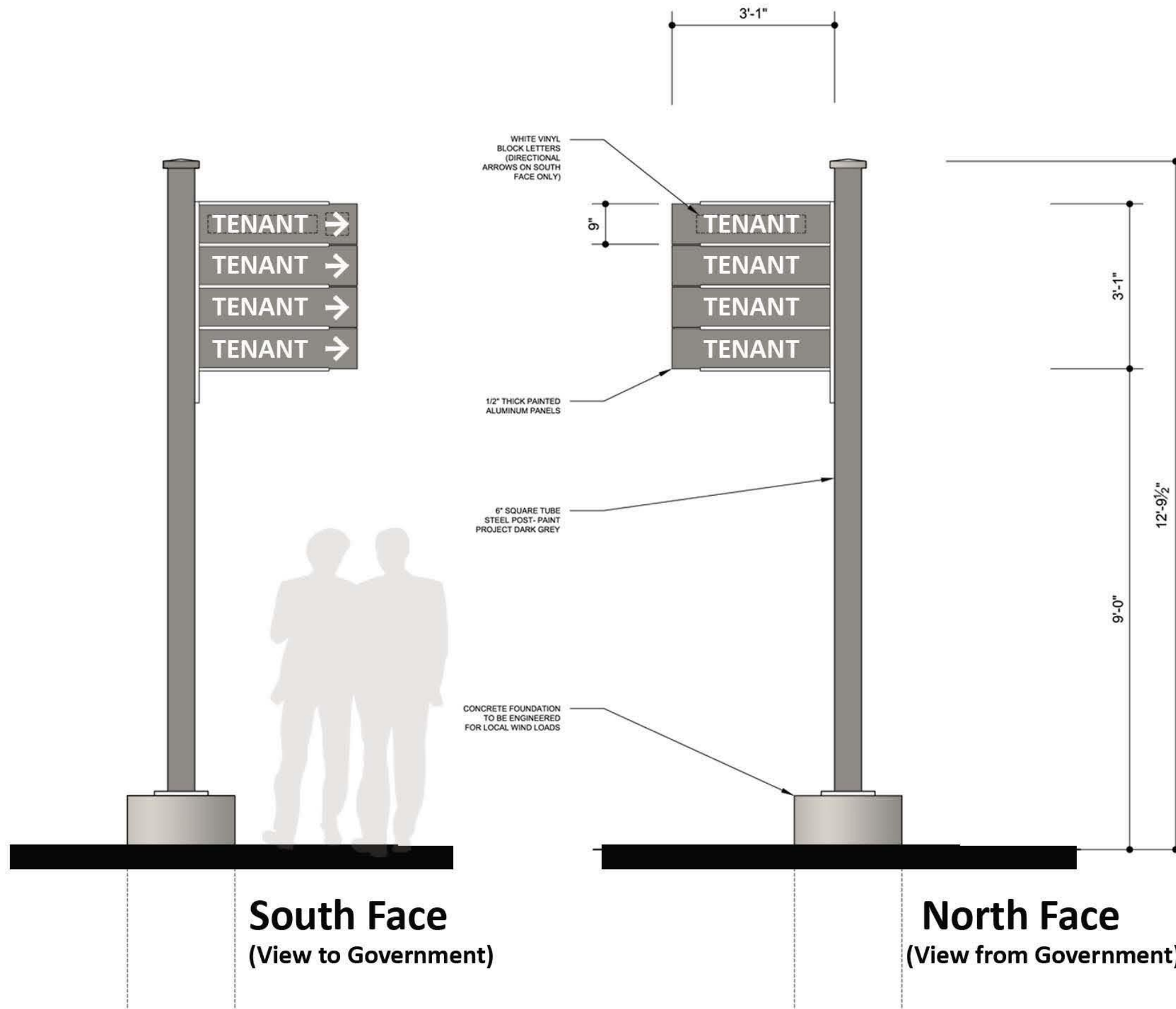
-  50' Pylon Sign (see CSP-03)
-  35' Pylon Sign (see CSP-03)
-  Single-Tenant Monument Sign (see CSP-04)
-  Multi-Tenant Monument Sign (see CSP-04)
-  Post-Mounted Directional Sign (see CSP-04A)

#### Notes:

1. Horizontal setbacks from rights-of-Way and for sight lines at entrances shall be per City of Mobile ordinances
2. Staff may approve of replacement of single-tenant monument signs with multi-tenant signs if Lot develops as multi-tenant facility.

# CSP-02





# DIRECTIONAL SIGN (see CSP-02 for location)



## McGOWIN PARK RETAIL CENTER

### Comprehensive Signage Package

September 5, 2014

CSP-04A

**# 10**

**ZON2014-00500**

**ZON2014-00501**