

**PLANNED UNIT DEVELOPMENT &
SIDEWALK WAIVER REQUEST
STAFF REPORT**

Date: March 19, 2015

<u>NAME</u>	Maritech Marine & Industrial Services, Inc.
<u>LOCATION</u>	915 South Lawrence Street (West side of South Lawrence Street at the West terminus of South Carolina Street)
<u>CITY COUNCIL DISTRICT</u>	District 3
<u>PRESENT ZONING</u>	I-1, Light Industry District
<u>AREA OF PROPERTY</u>	0.19 ± Acre
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow multiple buildings on a single building site, and Sidewalk Waiver to waive construction of a sidewalk along South Lawrence Street.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). The application shall include a site grading and drainage plan, details, and calculations, all of which are to be signed by a licensed Alabama Professional Engineer.
5. The proposed development must comply with all Engineering Department Policy Letters.

Sidewalk Waiver: Due to the unopened, dead-end ROW on South Lawrence St. and the unopened, dead-end ROW on South Carolina St. it is recommended that this request be approved for the west property line along S. Lawrence St. (approx. 92') and the south property line along S. Carolina St. (approx. 35').

It is further clarified that it appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk along the east property line (shown to be Lawrence Franklin Connector) that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site, and Sidewalk Waiver to waive construction of a sidewalk along South Lawrence Street. Planned Unit Development approval is required to allow multiple buildings on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

A one-lot Subdivision was approved by the Commission in June, 2014, for the subject site in preparation for development. The site was vacant at the time. The applicant obtained a land disturbance permit in July, 2014, to prepare the site to construct a 24' by 40' main building. In order to have temporary offices on the site while the main building was under construction, the applicant also obtained a building permit to install a 12' by 36' modular building. In order for the modular building to fit, the proposed main building was revised to 26' by 26' and relocated slightly further to the Southwest on the site plan. The building permit to construct the main building was issued in October, 2014, and the building was completed in December. The applicant now desires to have the proposed temporary modular building remain on the site as permanent offices therefore necessitating the approval of a Planned Unit Development for the two buildings on the single building site. A standard city sidewalk was indicated on the site plans approved for the development of the site but it has not been installed. The applicant now desires to have the requirement of the sidewalk waived, thus the Sidewalk Waiver request.

As no dedication of right of way was required for the recent one-lot Subdivision for the site, none would be required in this instance. The site plan indicates both structures meeting the recorded 25' minimum building setback line. The main building is set very close to the rear property line along Interstate 10, however, the rear setback requirement for the site was waived via the Subdivision due to tight site constraints. The modular building is indicated to be less than 5' from the North property line but where indicated on the site plan submitted for its installation. As the structure is currently in place, a reduction of the 5' setback requirement would be possible via the PUD process, but may require fire-rating a portion of the modular building.

As submitted, the site plan parking calculations do not include the warehouse/shop building and indicate four provided parking spaces. However, no warehouse/shop calculations are provided, and only two parking spaces are shown. Therefore, the site plan should be revised to include parking calculations for the warehouse/shop and also indicate any other parking spaces required. No curbing or bumper stops are indicated for the parking area. Therefore the site plan should be revised to indicate parking area curbing or bumper stops.

No dumpster is indicated on the site plan, nor is there any note pertaining to refuse collection. Therefore, the site plan should be revised to indicate a compliant dumpster or a note should be placed on the site plan stating that no dumpster will be utilized and refuse collection will either be curb-side or by private can collection services.

Pertaining to the Sidewalk Waiver request, the applicant simply states "The property is located in a heavy equipment area and a sidewalk is not necessary." City Engineering has determined that sidewalks should not be required along the unopened rights-of-way to the West along South Lawrence Street and to the South along South Carolina Street. City Engineering has also determined that there is sufficient area within the right-of-way along the re-routed South Lawrence Street, or within the property, to construct a sidewalk that could be approved through the Right-of-Way Permit process. No technical data was furnished by the applicant as a justification for the waiving of the construction of a sidewalk.

Finally, it should be noted that during a December, 2014, site inspection by staff, equipment and vehicles were observed parked or placed in the old South Lawrence Street and South Carolina Street rights-of-way. All storage and parking must be restricted to the applicant's property.

RECOMMENDATION

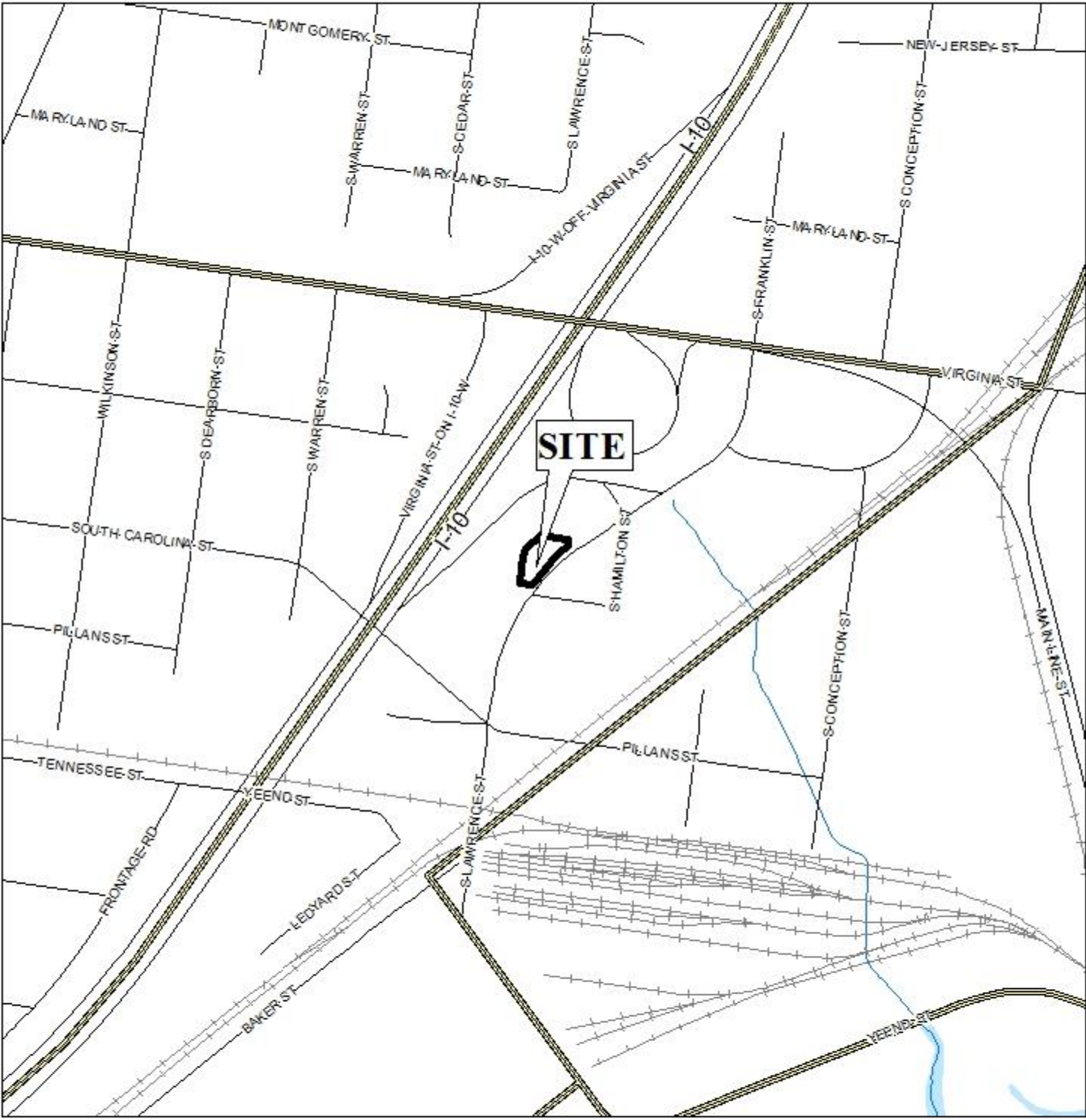
Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) revision of the site plan to provide parking calculations for both the modular office building and the warehouse/shop building;
- 2) revision of the site plan to show any additional parking required by the revised parking calculations;
- 3) revision of the site plan to indicate curbing or bumper stops within the parking area;
- 4) revision of the site plan to indicate a compliant dumpster and pad or the placement of a note on the site plan stating that no dumpster will be utilized and refuse collection will either be curb-side or via private can collection services;
- 5) compliance with Engineering comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). The application shall include a site grading and drainage plan, details, and calculations, all of which are to be signed by a licensed Alabama Professional Engineer. 5. The proposed development must comply with all Engineering Department Policy Letters.);*
- 6) compliance with Traffic Engineering comments: (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) compliance with the Urban Forestry comments (*Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.);*

- 8) compliance with the Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 9) full compliance with all municipal codes and ordinances;
- 10) removal of any equipment and parking from the adjacent public rights-of-way; and
- 11) provision of a revised PUD site plan to the Planning Division of Urban Development prior to the issuance of any further permits or a Zoning Clearance for the subject site.

Sidewalk Waiver: The request is recommended for Denial along the re-routed section of South Lawrence Street, and recommended for Approval along the unopened rights-of-way of South Lawrence Street and South Carolina Street.

LOCATOR MAP



APPLICATION NUMBER 10 DATE March 19, 2015

APPLICANT **Maritech Marine & Industrial Services, Inc**

REQUEST	Planned Unit Development, Sidewalk Waiver
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential properties to the east. A float barn lies to the south.

APPLICATION NUMBER 10 DATE March 19, 2015

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REQUEST Planned Unit Development, Sidewalk Waiver

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

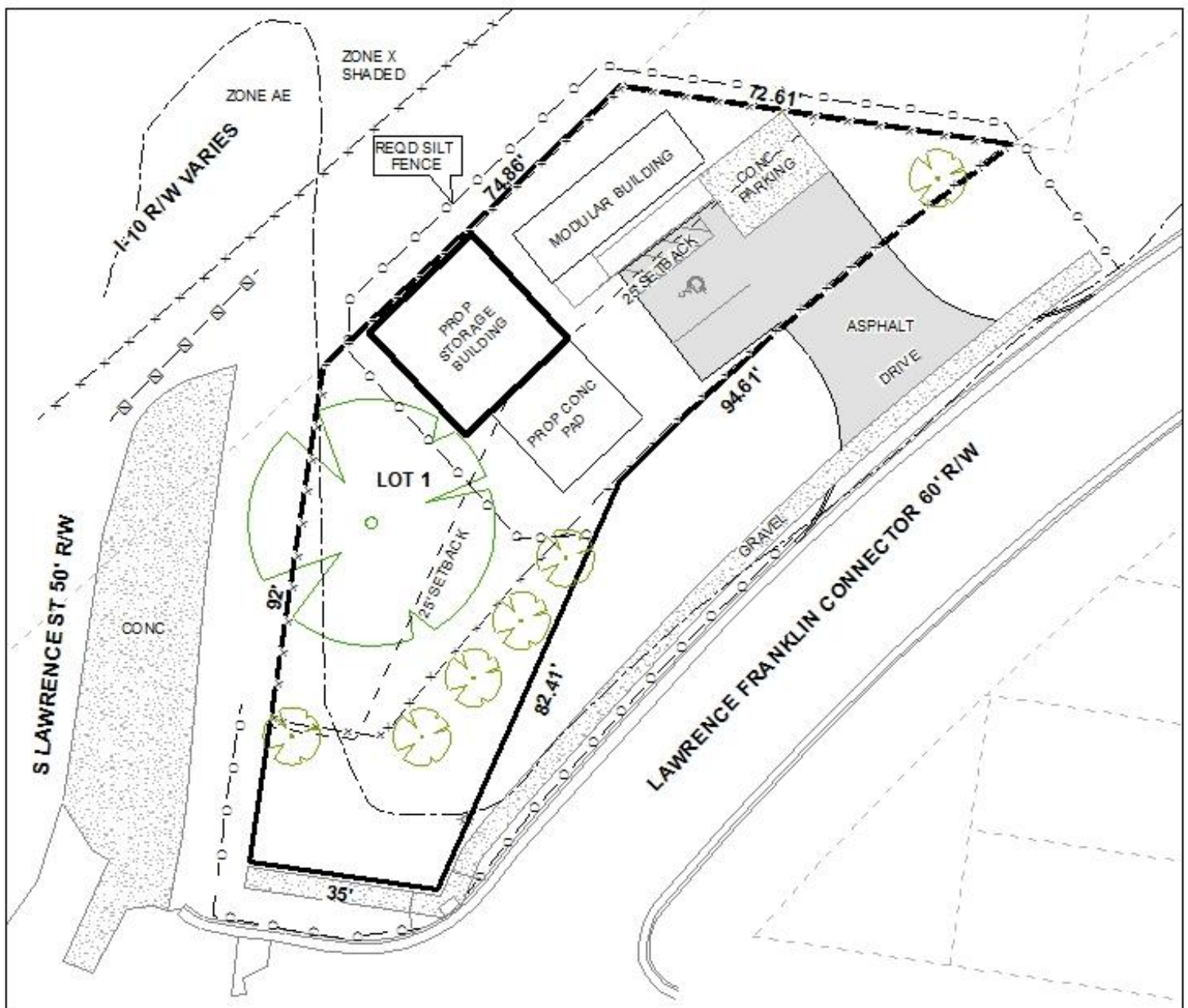


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SITE PLAN



The site plan illustrates the existing building, proposed building, trees, fences, and setback.

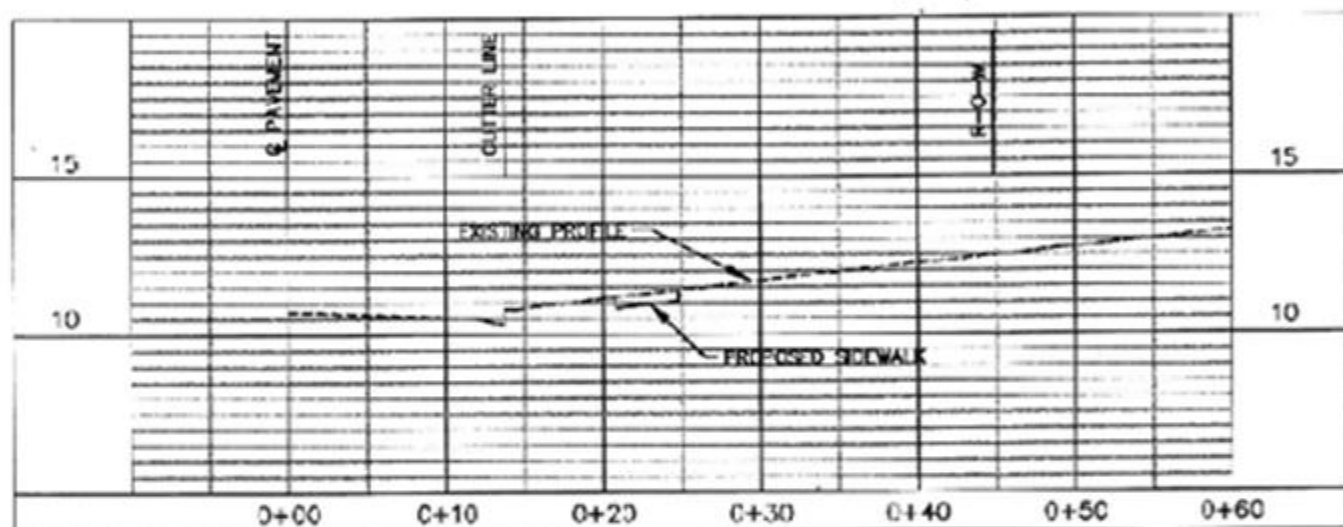
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DETAIL SITE PLAN



CROSS SECTION
SCALE: 1" = 10' HORIZ.
1" = 5' VERTICAL

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