

## **KELLY FARMS SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC.)

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 2.1± acres subdivision located on the East side of Roswell Road South, 880'± South of Roswell Road, extending to the West side of Schillinger Road South, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The site was originally the subject of a 2-lot Subdivision approval at the February 5, 1998 meeting of the Planning Commission, afterwards being recorded in Mobile County Probate Court. The lots were subsequently re-subdivided at the June 3, 1999 meeting of the Planning Commission, also into two lots, and recorded in Mobile County Probate Court. The applicant is now requesting Subdivision approval to relocate the interior lot line between two legal lots of record to eliminate access to proposed Lot A from Roswell Road South.

Proposed Lot A has frontage on Schillinger Road South, a major street requiring a 100' right-of-way width as depicted on the Major Street Plan; and, proposed Lot B has frontage on Roswell Road South, a minor street without curb and gutter requiring a 60' right-of-way width. A varying right-of-way is illustrated along Schillinger Road South, and a 50' right-of-way is illustrated along Roswell Road South. While a 300± square foot strip of land illustrated along the Southern portion of the frontage of Lot A was acquired by Mobile County to accommodate the construction of Schillinger Road South, the plat should nevertheless be revised to illustrate dedication sufficient to provide 50' from the centerline of Schillinger Road South, or show that the existing right-of-way is sufficient.

Typically, dedication to provide 30' from the centerline of Roswell Road South would also be required; however, previous Subdivision approvals of neighboring lots waived this requirement. As such, a similar waiver for the subject site may be appropriate.

It should be noted that Schillinger Road South and Roswell Road South are incorrectly labeled as "Schillinger Road" and "Roswell Road" on the preliminary plat, respectively; therefore, the plat should be revised to correctly label Schillinger Road South and Roswell Road South, if approved.

As a means of access management, a note should be required on the Final Plat, if approved, stating each lot is limited to its existing curb cuts, with their sizes, locations and designs to be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat illustrates a 35' minimum building setback line along Schillinger Road South and the 25' minimum building setback line along Roswell Road South, both of which are sufficient to satisfy the requirements of Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat, adjusted for any required dedication.

Each lot meets the minimum size requirements of the Subdivision Regulations for lots served by public water and individual septic tanks, and are appropriately labeled in square feet and acres on the preliminary plat. If approved, this information should be retained on the Final Plat, adjusted for any right-of-way dedication; or, a table providing the same information may suffice.

This site is located in the County and both lots are developed residentially. Nevertheless, if approved, a note should be provided on the Final Plat stating any lots which are developed commercially and adjoin residentially developed property must provide a buffer in compliance with Section V.A.8. of the Subdivision Regulations.

Finally, the site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* should be placed on the Final Plat, if approved.

The proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) revision of the plat to illustrate dedication sufficient to provide 50' from the centerline of Schillinger Road South, or show that the existing right-of-way is sufficient;
- 2) revision of the plat to correctly identify Schillinger Road South and Roswell Road South;
- 3) placement of a note on the Final Plat stating each lot is limited to its existing curb cuts, with any changes in their sizes, locations or designs to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) retention of at least a 25' minimum building setback line along all street frontages;
- 5) retention of the lot sizes for each lot in square feet and acres on the Final Plat, or provision of a table providing the same information;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility"*

*requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”; and*

- 8) compliance with Fire Department comments: *“Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC.)”*

# LOCATOR MAP



APPLICATION NUMBER 10 DATE May 18, 2017

APPLICANT Kelly Farms Subdivision

REQUEST Subdivision



# LOCATOR ZONING MAP



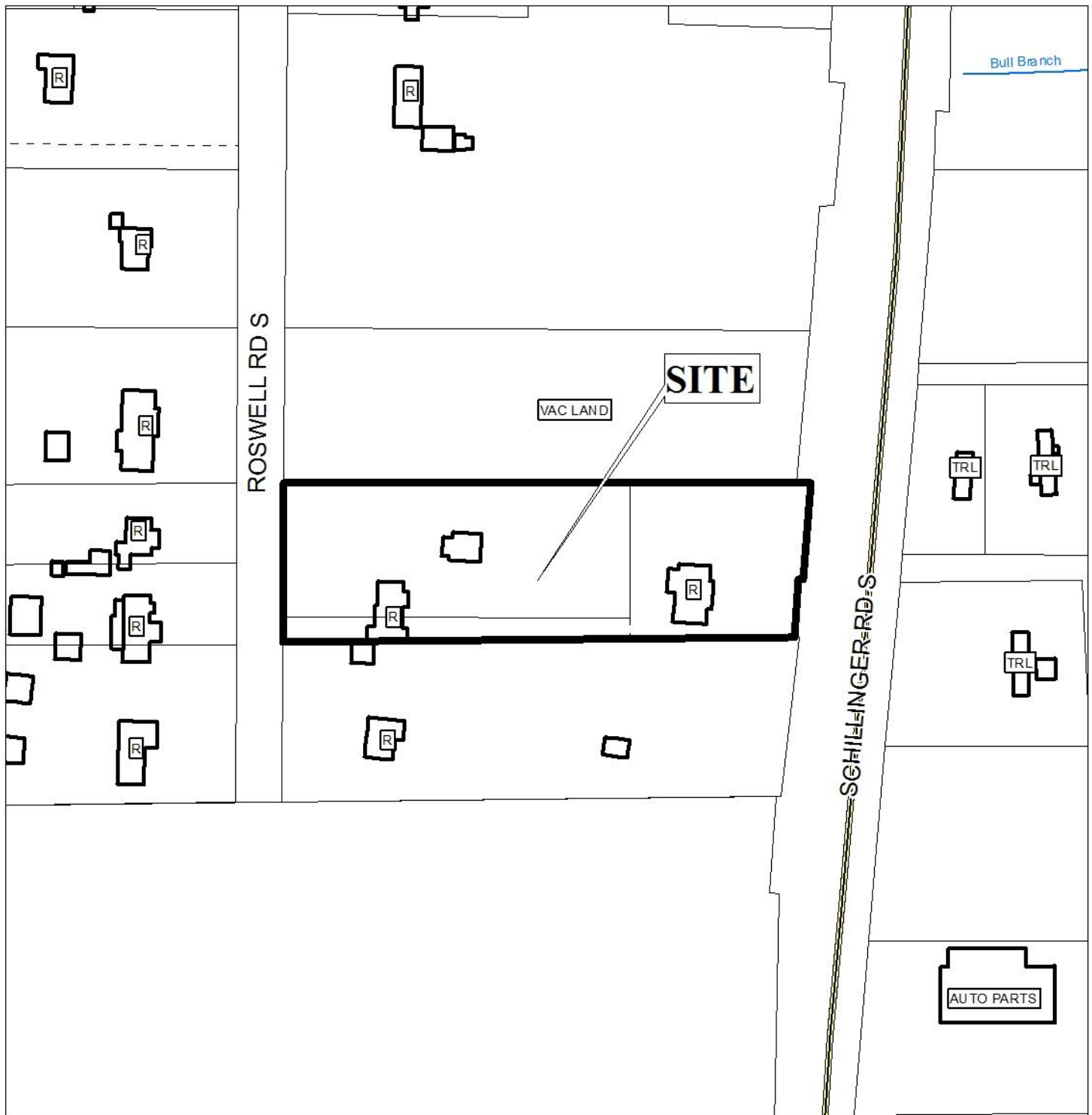
APPLICATION NUMBER 10 DATE May 18, 2017

APPLICANT Kelly Farms Subdivision

REQUEST Subdivision



# KELLY FARMS SUBDIVISION



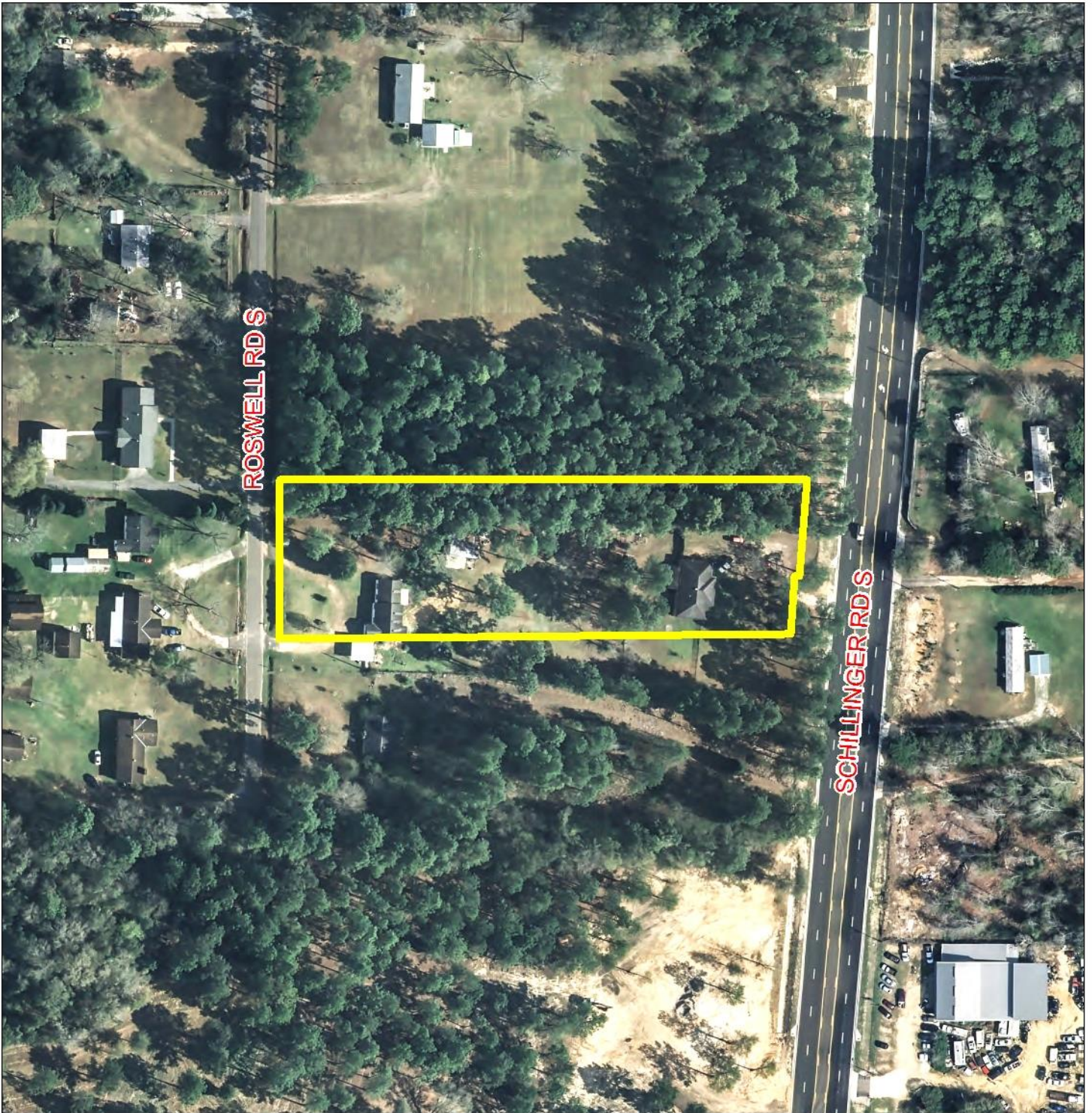
APPLICATION NUMBER 10 DATE May 18, 2017

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





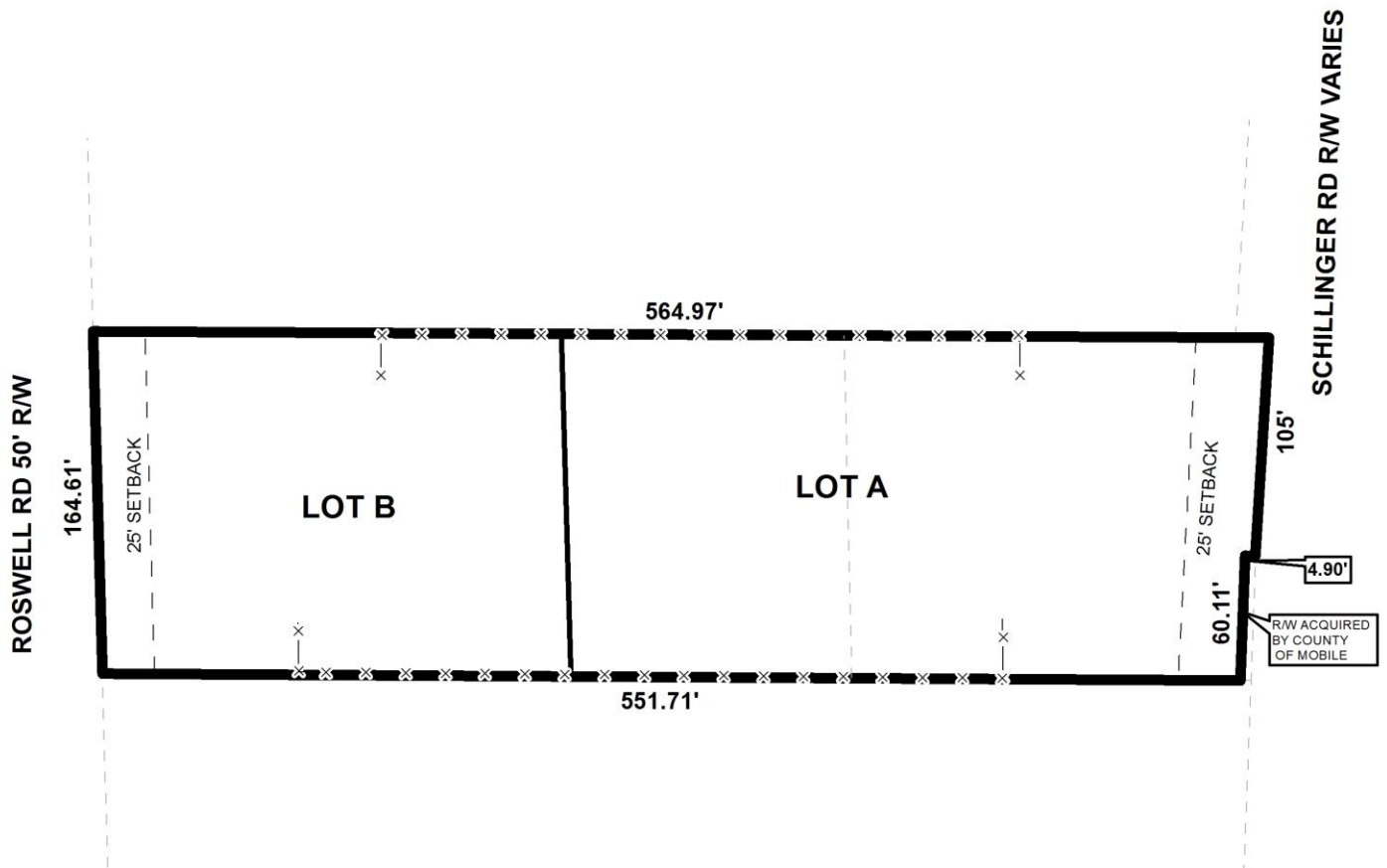
# KELLY FARMS SUBDIVISION



APPLICATION NUMBER 10 DATE May 18, 2017



# DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE May 18, 2017

APPLICANT Kelly Farms Subdivision

REQUEST Subdivision



NTS