

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: November 6, 2014****NAME**

JRJ III

LOCATION3738 Halls Mill Road
(North side of Halls Mill Road at the North terminus of
Lees Lane)**PRESENT ZONING**

I-1, Light Industry District

ENGINEERING**COMMENTS**

There is not adequate room within the existing Halls Mill Rd. ROW; however, it appears that there is sufficient room within the property for the construction of a sidewalk that could be approved through the ROW Permit process.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Halls Mill Road.

This site appeared before the Planning Commission at its March 2, 2000 meeting for a sidewalk waiver for the subject and the adjacent site, which were both approved. The site is currently undeveloped; however permits have been submitted for development of the site which requires the construction of a sidewalk or a sidewalk waiver, thus the reason for this application.

The site fronts Halls Mill Road, which functions as a collector street, without curb and gutter and requires a 60' right-of-way.

There is an existing drainage ditch located along Halls Mill Road that runs between the existing right-of-way line and the existing edge of pavement. The drainage ditch is open and runs across the front of the entire site. However, there is a sidewalk on the adjacent site to the West as well as the adjacent site to the South. The adjacent site to the South also has a drainage ditch that runs across the front of their property and has managed to construct a sidewalk.

It should be noted that the sidewalk across the street from the subject site extends for approximately 717 ± feet and is placed in front of the drainage ditch. The sidewalk to the West of the site extends for approximately 130 ± feet. Thus, it is possible for the applicant to construct the sidewalk on private property and tie into the existing sidewalk to the West of the site.

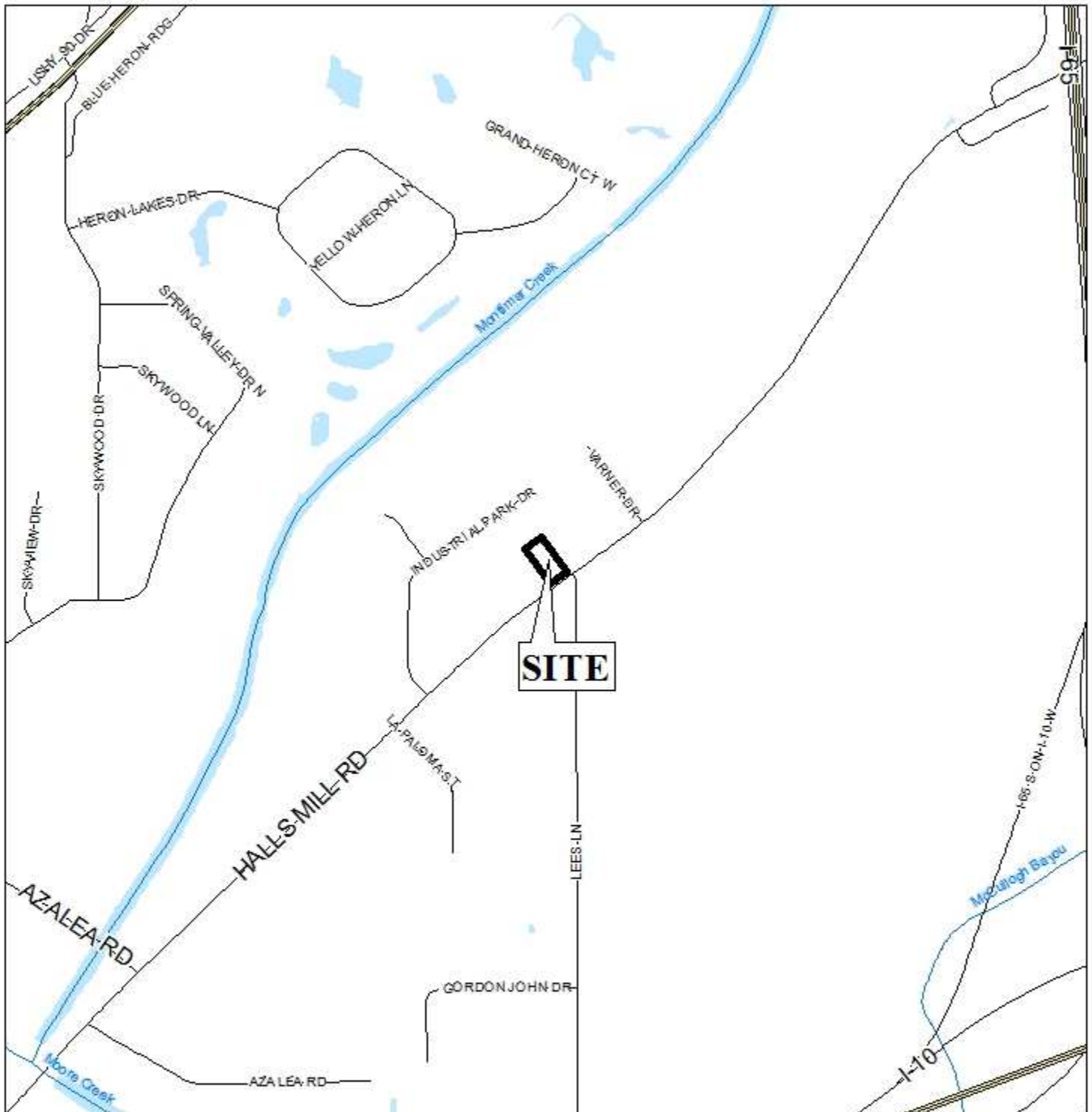
The applicant states, "As shown on the attached site plan and cross sections, sidewalk would have to be constructed over an existing ditch".

The Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians, transit riders and cyclists.

It should be noted while there is not a consistent series of connectivity of sidewalks along Halls Mill Road the construction of a sidewalk is feasible.

RECOMMENDATION Based upon the preceding, the request to waive construction of a sidewalk along Halls Mill Road is recommended for denial.

LOCATOR MAP



APPLICATION NUMBER 10 DATE November 6, 2014

APPLICANT JRJ III Properties, LLC

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

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 R-A	 R-3	 T-B	 B-2	 B-5	 MUN	 SD-WH	 T5.1
 R-1	 R-B	 B-1	 B-3	 I-1	 OPEN	 T3	 T5.2
 R-2	 H-B	 LB-2	 B-4	 I-2	 SD	 T4	 T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

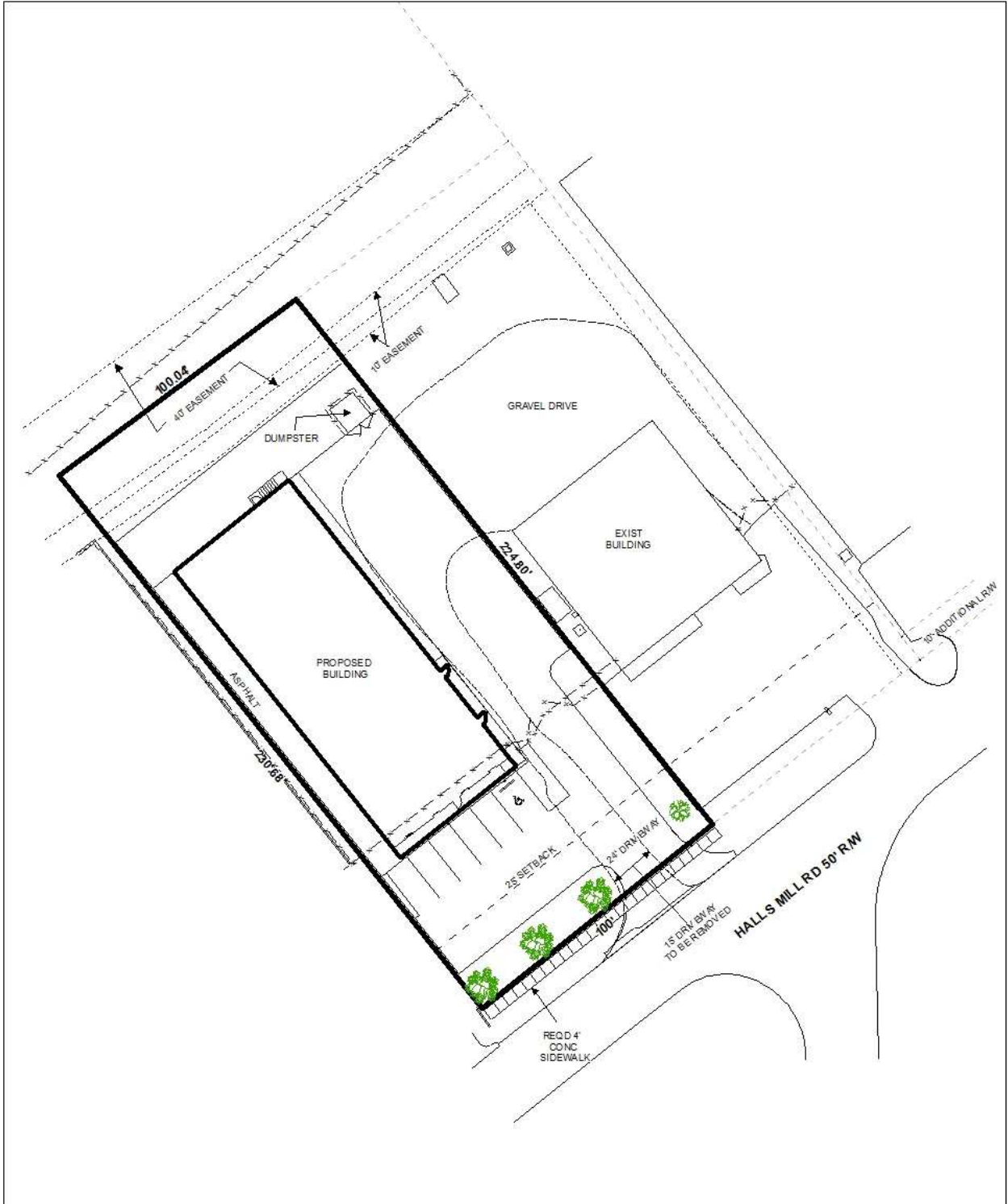
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SITE PLAN



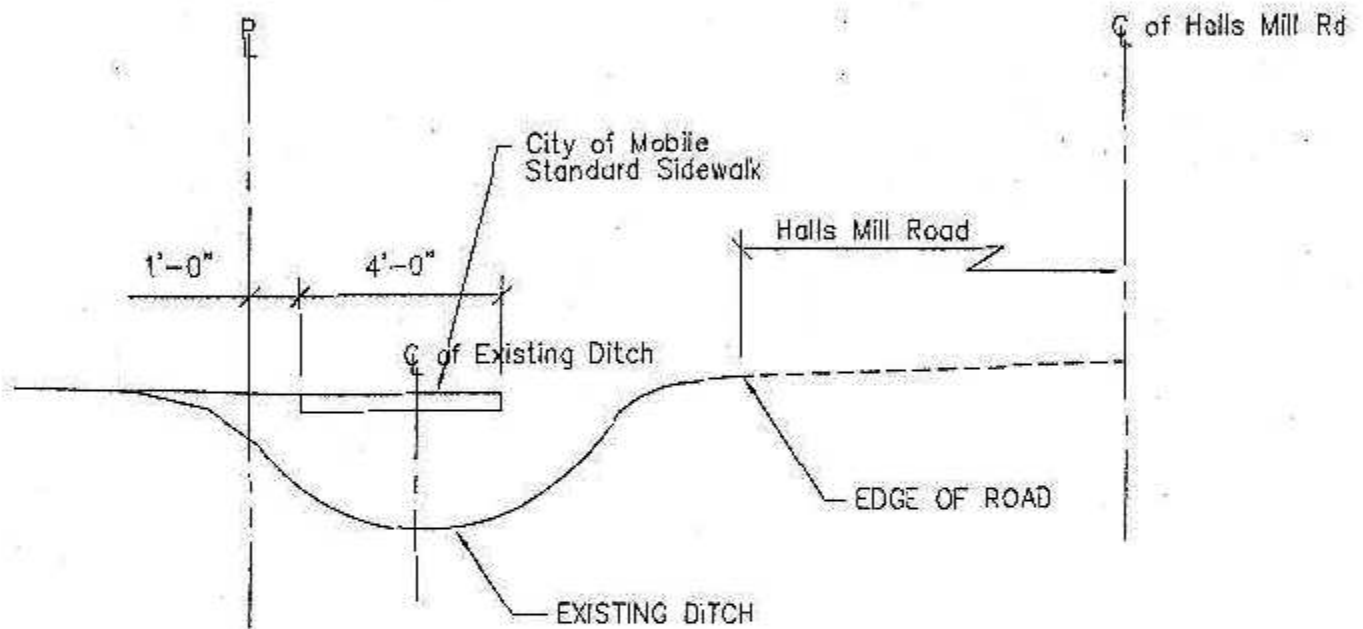
The site illustrates the proposed building, setback, and easements.

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DETAIL SITE PLAN



TYPICAL CROSS SECTION

NO SCALE

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DETAIL SITE PLAN

Russ Jones Bldg Halls Mill Rd



2016 OCT -5 5:07

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DETAIL SITE PLAN

Russ Jones Bldg Halls Mill Rd



NO. 101 - N. E. 3.00

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