

## **JACKSON STREET SUBDIVISION, RENEA'S** **ADDITION TO**

Engineering Comments: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 0.2± acre subdivision which is located on the West side of North Jackson Street, 150'± North of State Street, in Council District 2.

The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide an existing legal lot of record and a metes-and-bounds parcel into a legal lot of record. The lot would meet the minimum size requirements.

The site fronts onto North Jackson Street, a minor street with a current 50' right-of-way; therefore, no dedication would be required. As a means of access management, a note should be required on the Final Plat stating that the lot is limited to one curb cut to North Jackson Street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

As the site is located within an R-B, Residential-Business District, the Zoning Ordinance allows a 5' front minimum building setback line along North Jackson Street. A waiver of Section V.D.9. of the Subdivision Regulations would be required and would be in order to allow such. And as the site is located within the De Tonti Square Historic District, and front yard setbacks may receive further relief from the 5' normally required in R-B districts, a note should be placed on the Final Plat stating that the front minimum building setback may be governed by that allowed under Section 64-3.G.3.a.(1) of the Zoning Ordinance in lieu of the 5' setback.

The plat should be revised to label the lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

The site appears to be located within an AE and X-Shaded flood zone. The presence of a flood zone would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

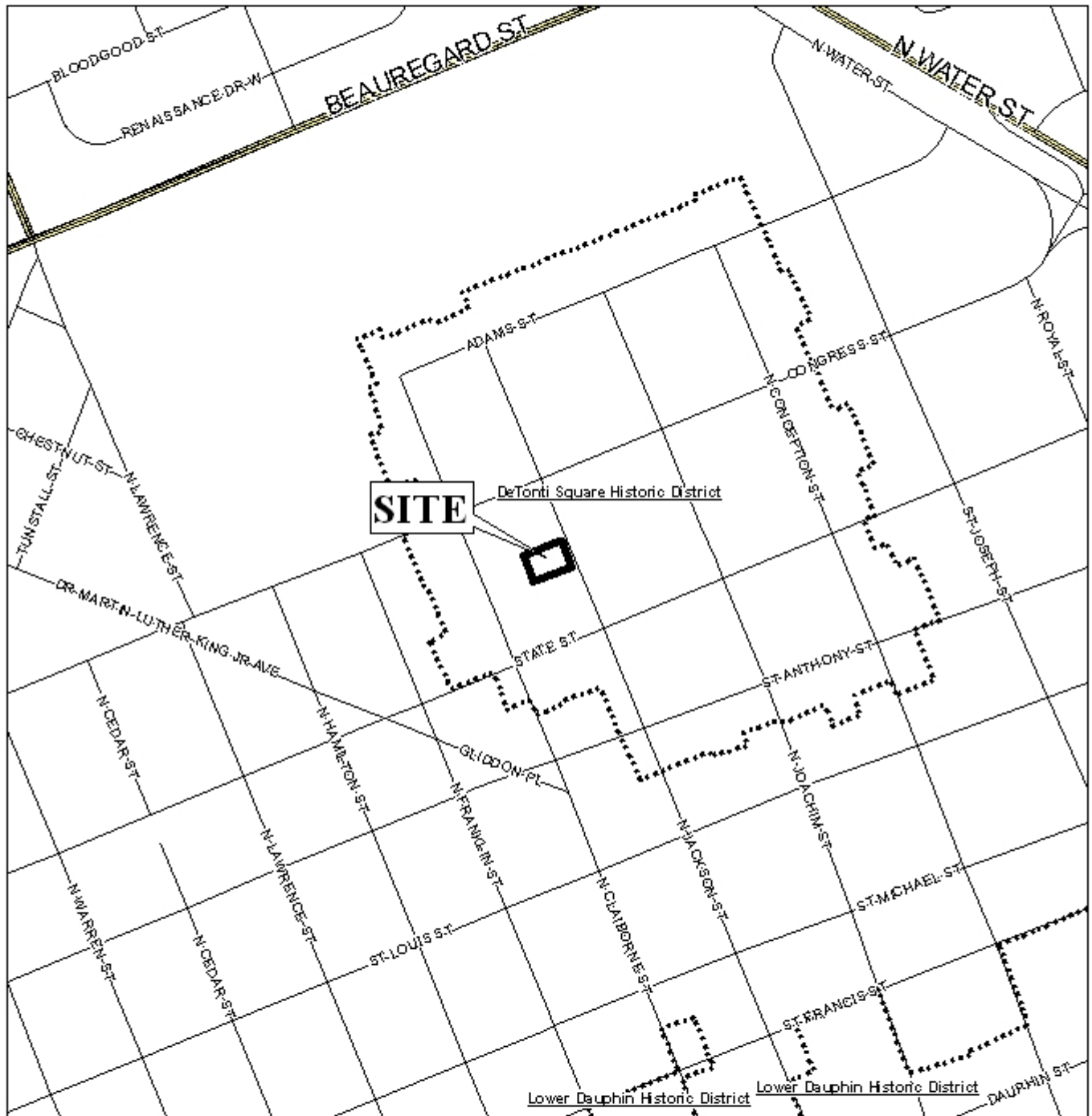
As R-B districts allow for either residential or commercial use, a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

With a waiver of Section V.D.9. of the Subdivision Regulations, the plat meets the minimum requirements and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the lot is limited to one curb cut to North Jackson Street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) retention of the 5' minimum building setback line along North Jackson Street;
- 3) placement of a note on the Final Plat stating that the front minimum building setback may be governed by that allowed under Section 64-3.G.3.a.(1) of the Zoning Ordinance in lieu of the 5' setback;
- 4) revision of the plat to label the lot with its size in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat stating that the approval of all applicable federal, state and local agencies would be required regarding flood zone issues prior to the issuance of any permits or land disturbance activities;
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 8) subject to the Engineering comments: *[1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045).];*

- 9) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile); and*
- 10) full compliance with all municipal codes and ordinances.

# LOCATOR MAP



APPLICATION NUMBER 10 DATE April 4, 2013  
APPLICANT Jackson Street Subdivision, Renea's Addition to  
REQUEST Subdivision



# JACKSON STREET SUBDIVISION, RENEA'S ADDITION TO



APPLICATION NUMBER 10 DATE April 4, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS



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