

## **HAWTHORNE PLACE SUBDIVISION, RESUBDIVISION OF LOT 15 REVISED**

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- F. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- G. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- H. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.

Traffic Engineering Comments: Each lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 0.6± acre subdivision which is located on the Northwest corner of Hawthorne Place and Hawthorne Place North. The site is within Council

District 5, and the applicant states that the subdivision is served by public water and sewer services. The purpose of this application is to create two (2) legal lots of record from one legal lot of record.

The site has been given a Low Density Residential (LDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies to existing residential neighborhoods found mostly west of the Beltline or immediately adjacent to the east side of the Beltline.

The primary land use in the LDR districts is residential and the predominant housing type is the single-family housing unit, detached or semi-detached, typically placed within a street grid or a network of meandering suburban streets. The density in these districts ranges between 0 and 6 dwelling units per acre (du/ac).

These neighborhoods may also contain small-scale, low-rise multi-unit structures at appropriate locations, as well as complementary retail, parks and civic institutions such as schools, community centers, neighborhood playgrounds, and churches or other religious uses if those uses are designed and sited in a manner compatible with and connected to the surrounding context. The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The proposed lots front Hawthorne Place and Hawthorne Place North, both minor streets with ribbon curb and gutter and existing compliant rights-of-way of 50 feet. The site appears to also have a compliant corner radius, making no dedications necessary.

The preliminary plat illustrates a 25' minimum building setback line all frontages. This should be retained on the Final Plat, if approved.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots each exceed the 7,200 square foot minimum lot size requirement for lots served by public water and sewer systems. The lot size information for each lot is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

It should be noted that there is an existing dwelling that straddles the proposed lot line. The applicant states that they plan to remove the existing dwelling, and build new residences on the new lots. If the proposed Subdivision is approved, the applicant should obtain a demolition permit for the existing dwelling prior to the signing of the Final Plat so that there is not a zoning violation caused by such approval.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that each lot is limited to one curb cut each, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

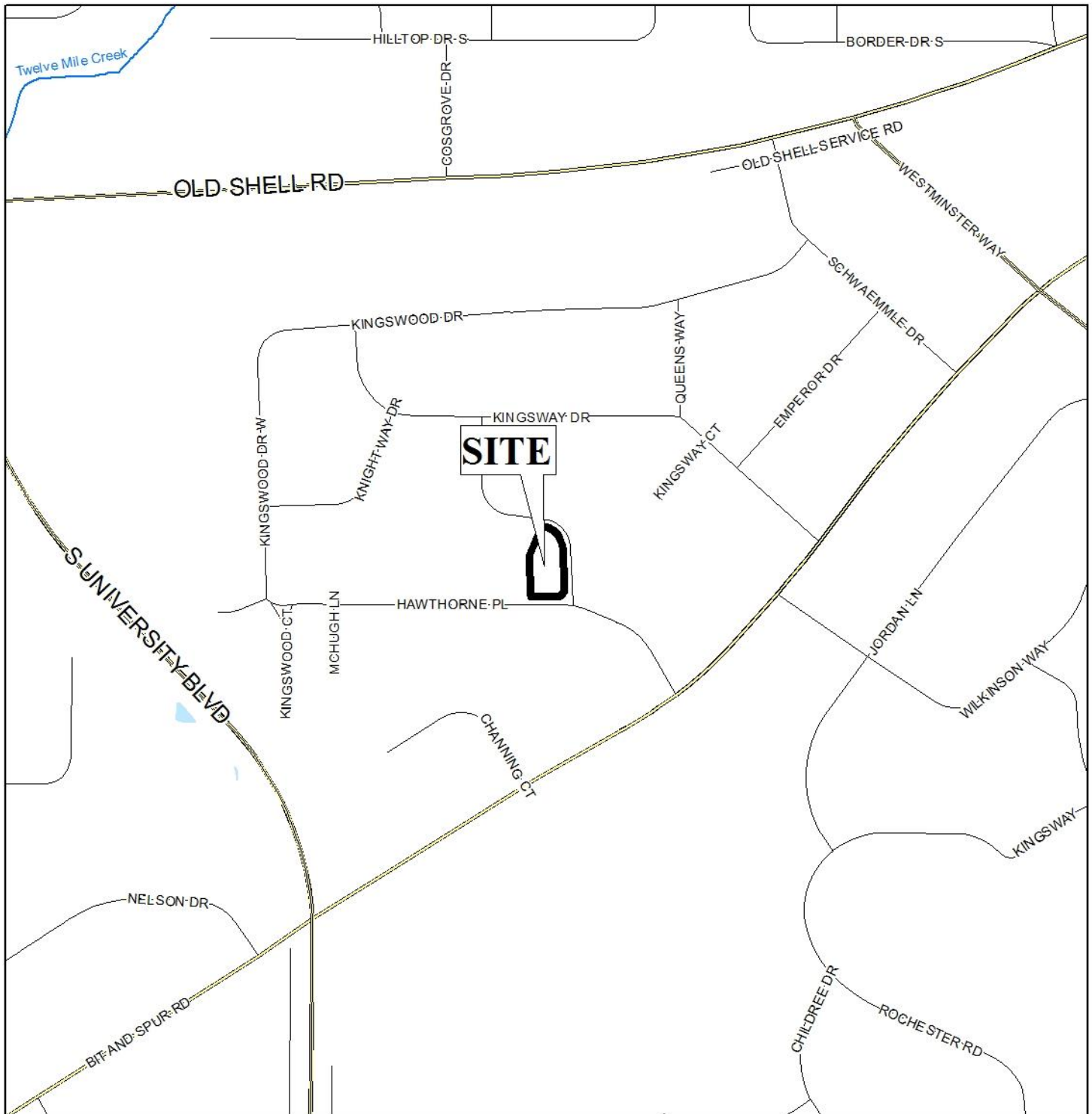
Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Obtaining a demolition permit for the existing dwelling prior to the signing of the Final Plat;
- 2) Retention of 25' minimum building setback line along all frontages;
- 3) Retention of the lot size information in both square and in acres on the Final Plat;
- 4) Placement of a note on the Final Plat stating that both lots are limited to one curb cut each, with the size, design and location of the curb-cut to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) Compliance with Engineering comments: (FINAL PLAT COMMENTS *(should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):* A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. F. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. G. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. H. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1)

*copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.);*

- 6) *Compliance with Traffic Engineering comments: (Each lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 7) *compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 8) *compliance with Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).); and*
- 9) *completion of the Subdivision process prior to any request for land disturbing or building activities.*

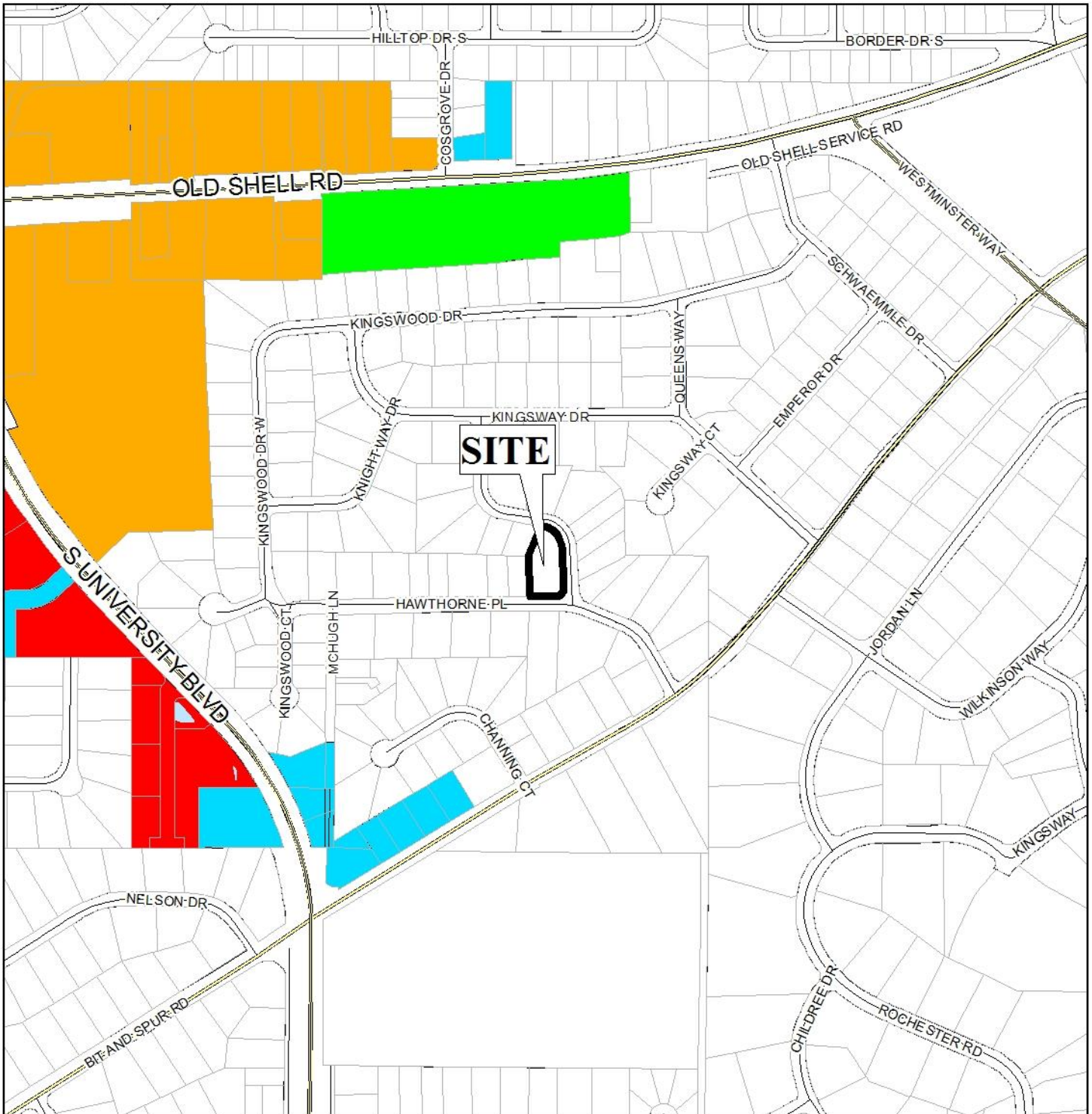
# LOCATOR MAP



APPLICATION NUMBER 10 DATE May 17, 2018  
APPLICANT Hawthorne Place Subdivision, Resubdivision of Lot 15 Revised  
REQUEST Subdivision



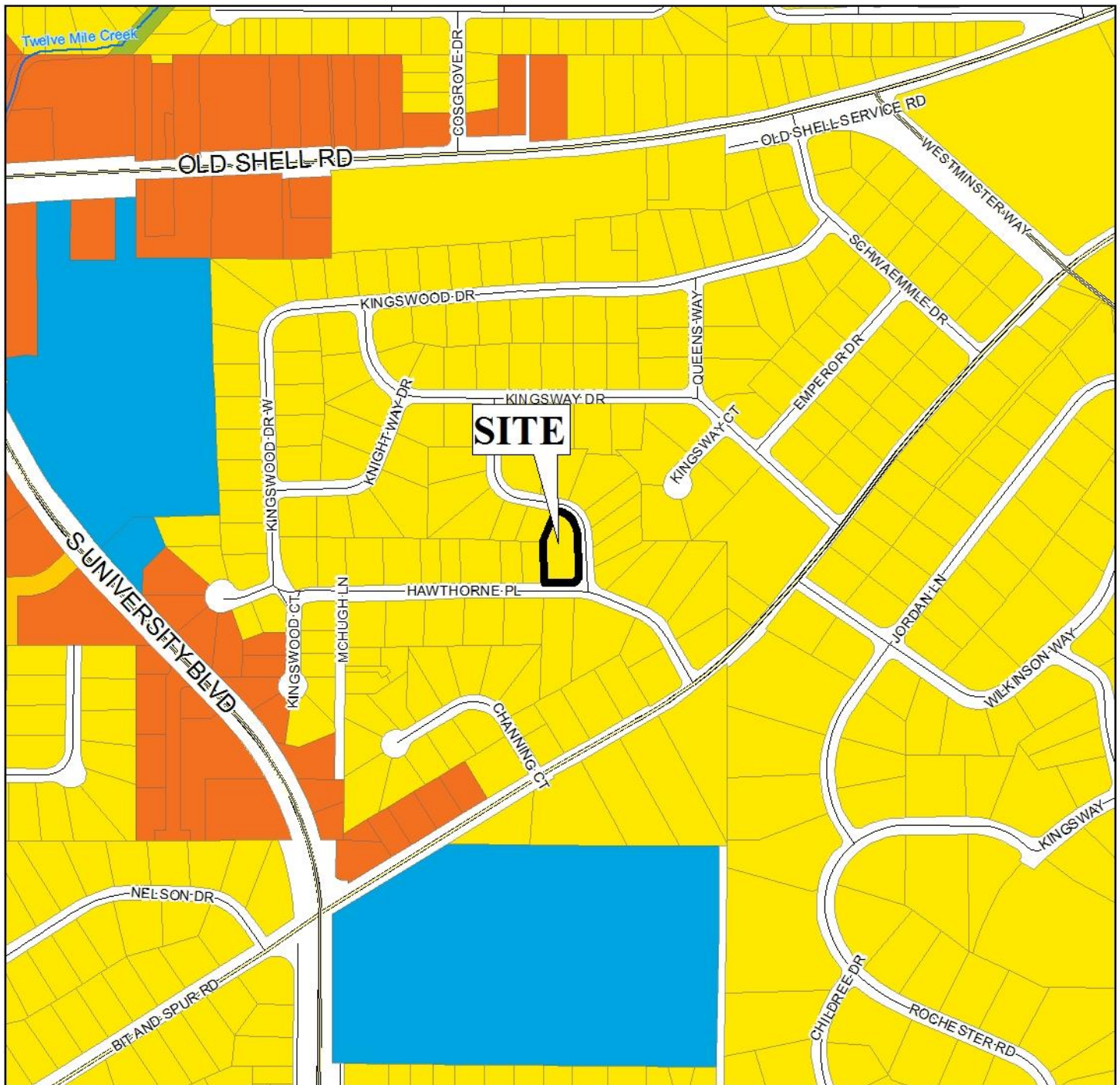
# LOCATOR ZONING MAP



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# FLUM LOCATOR MAP

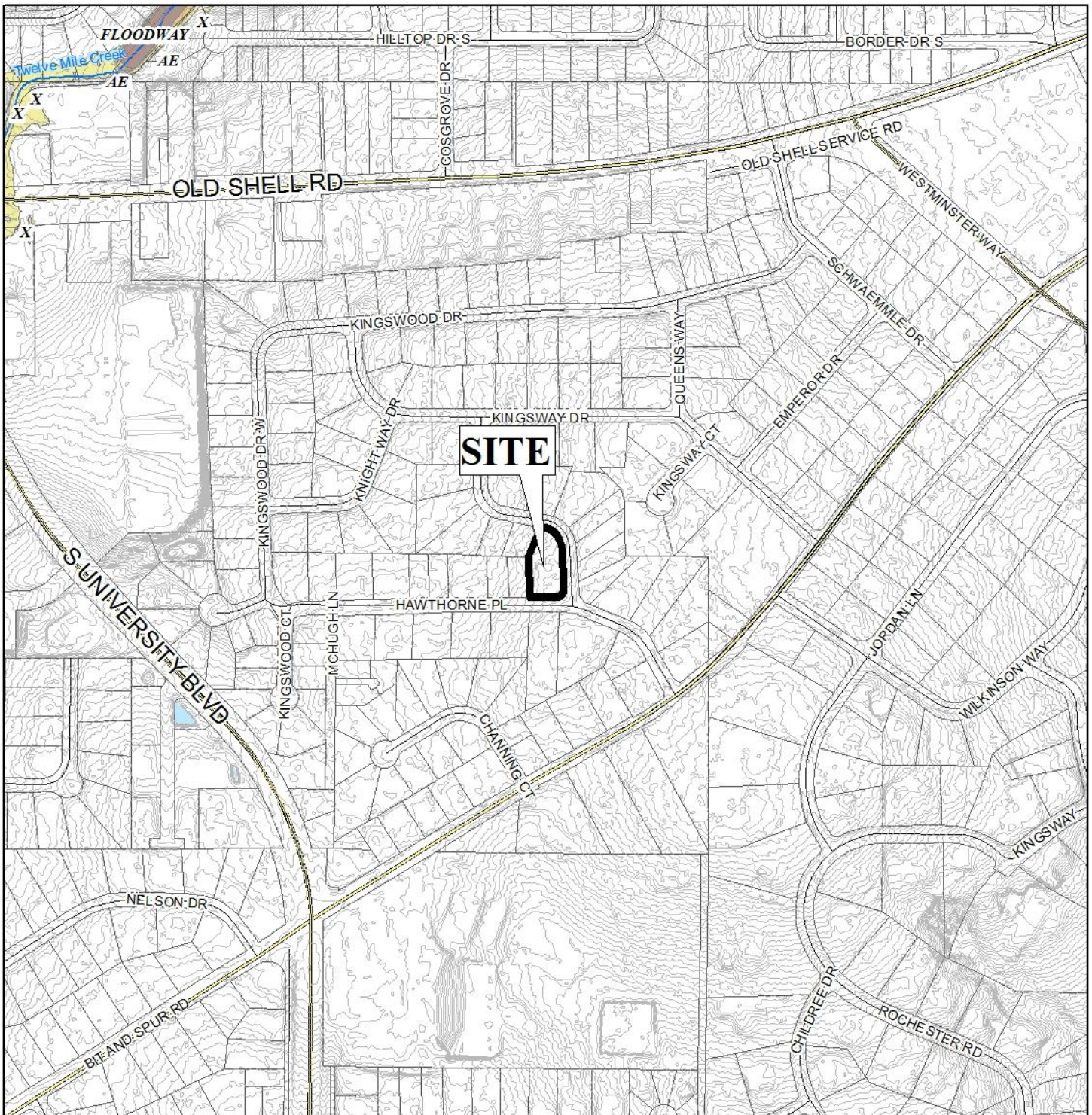


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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



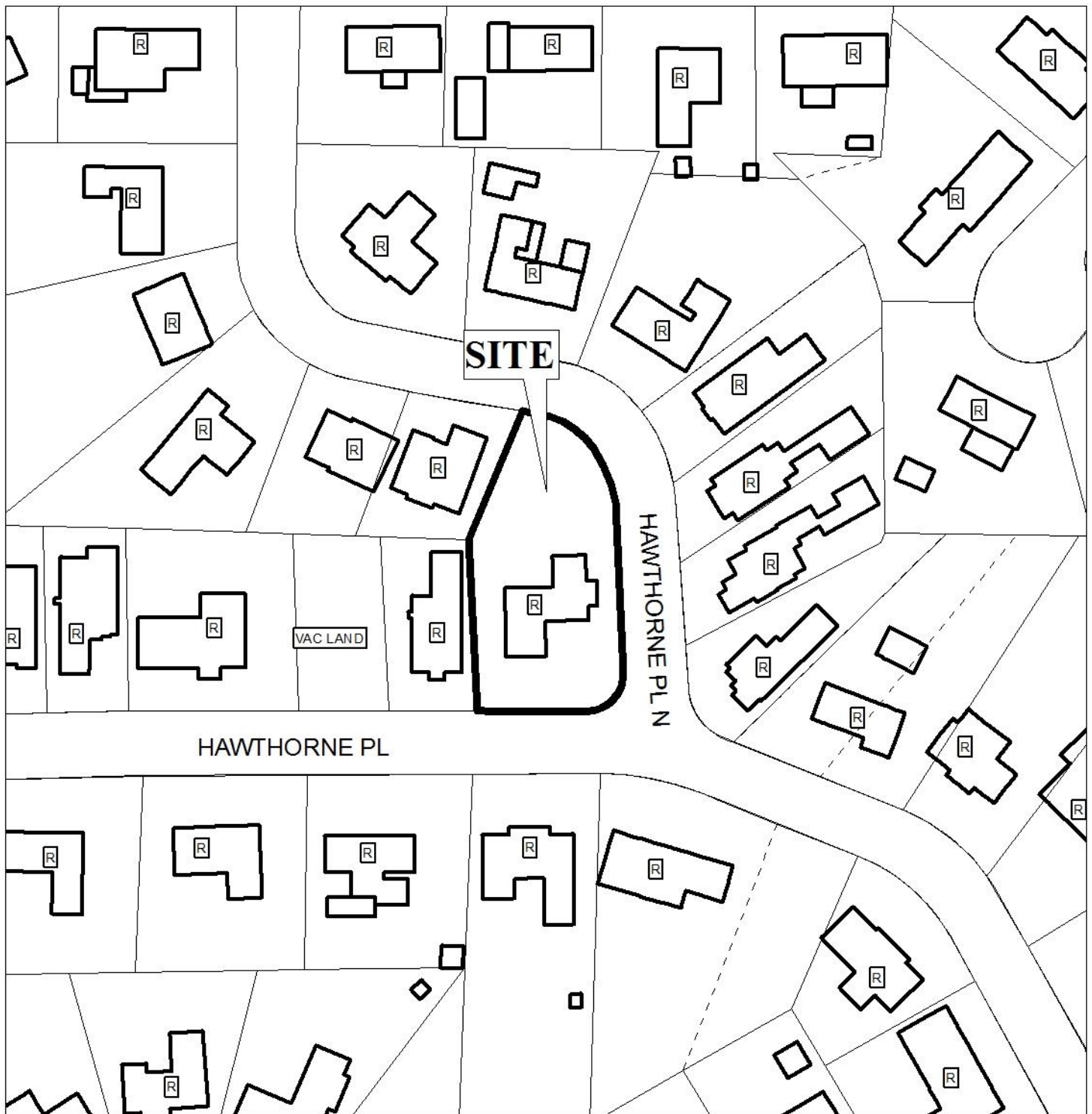
# ENVIRONMENTAL LOCATOR MAP



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



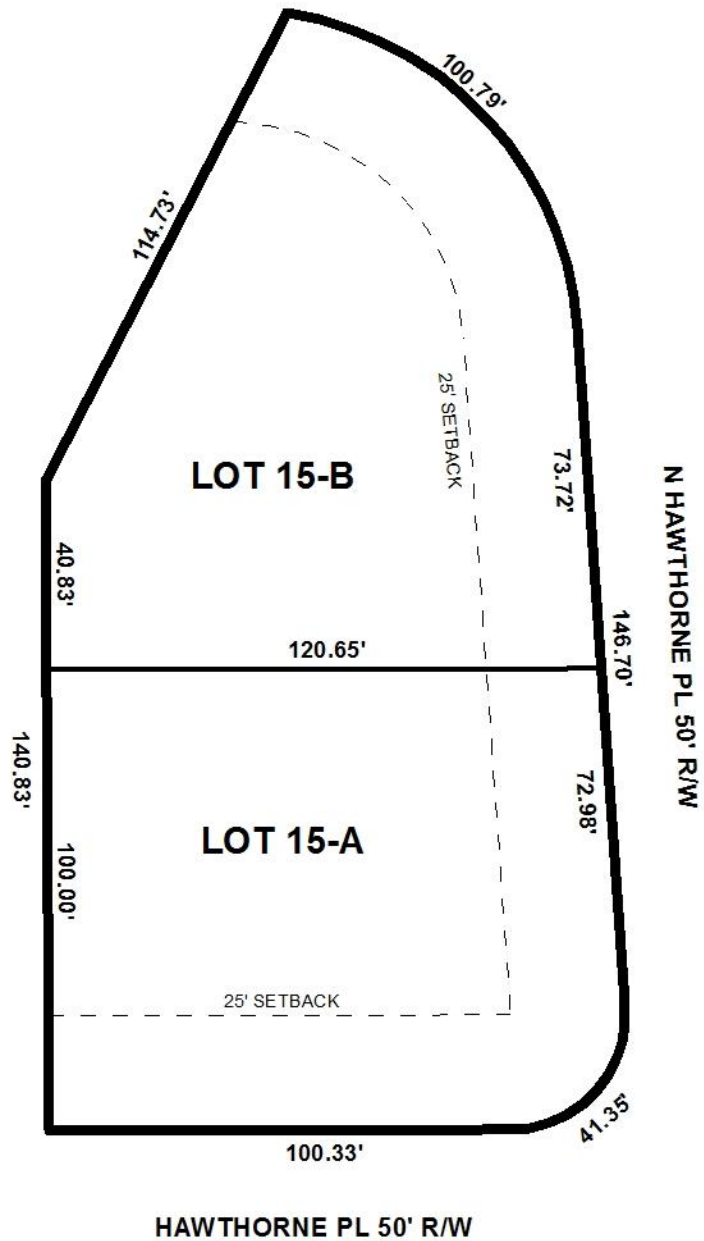
# HAWTHORNE PLACE SUBDIVISION, RESUBDIVISION OF LOT 15 REVISED



APPLICATION NUMBER 10 DATE May 17, 2018



# DETAIL SITE PLAN



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