

HARPER'S PLACE SUBDIVISION

Engineering Comments: Revise the flood statement on the map to reflect "X-Unshaded" as determined by "scaling". Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 0.2± acre, 1-lot subdivision which is located on East side of Clubhouse Road, 100'± North of Gill Road, and is in Council District 3. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create one legal lot of record from an existing metes-and-bounds parcel. This subdivision was approved at the Planning Commission's October 2, 2008 meeting; however, the subdivision was not recorded.

The proposed lot would be slightly less than 60' wide at the building setback line, and a waiver of Section V.D.2 of the Subdivision Regulations would be required. It should be noted that this parcel is the West remnant of Lot 15, Block A, Riverside Subdivision, as it was originally platted. Lot 15, and its South neighbor, Lot 14, were both severed from their Eastern portions when Breedlove Subdivision, a Resubdivision of Portions of Lots 14 and 15, Block A, Riverside Subdivision (a Planning Commission approved subdivision) was recorded in 1979. The lot would meet the minimum square footage requirements.

The proposed lot has frontage on Club House Road and the plat shows a dedication of 25' from the centerline to the City of Mobile. The plat illustrates the 25' minimum building setback line as measured after the dedication for the right-of-way. A note should be required on the Final Plat limiting the lot to one curb cut to Club House Road, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

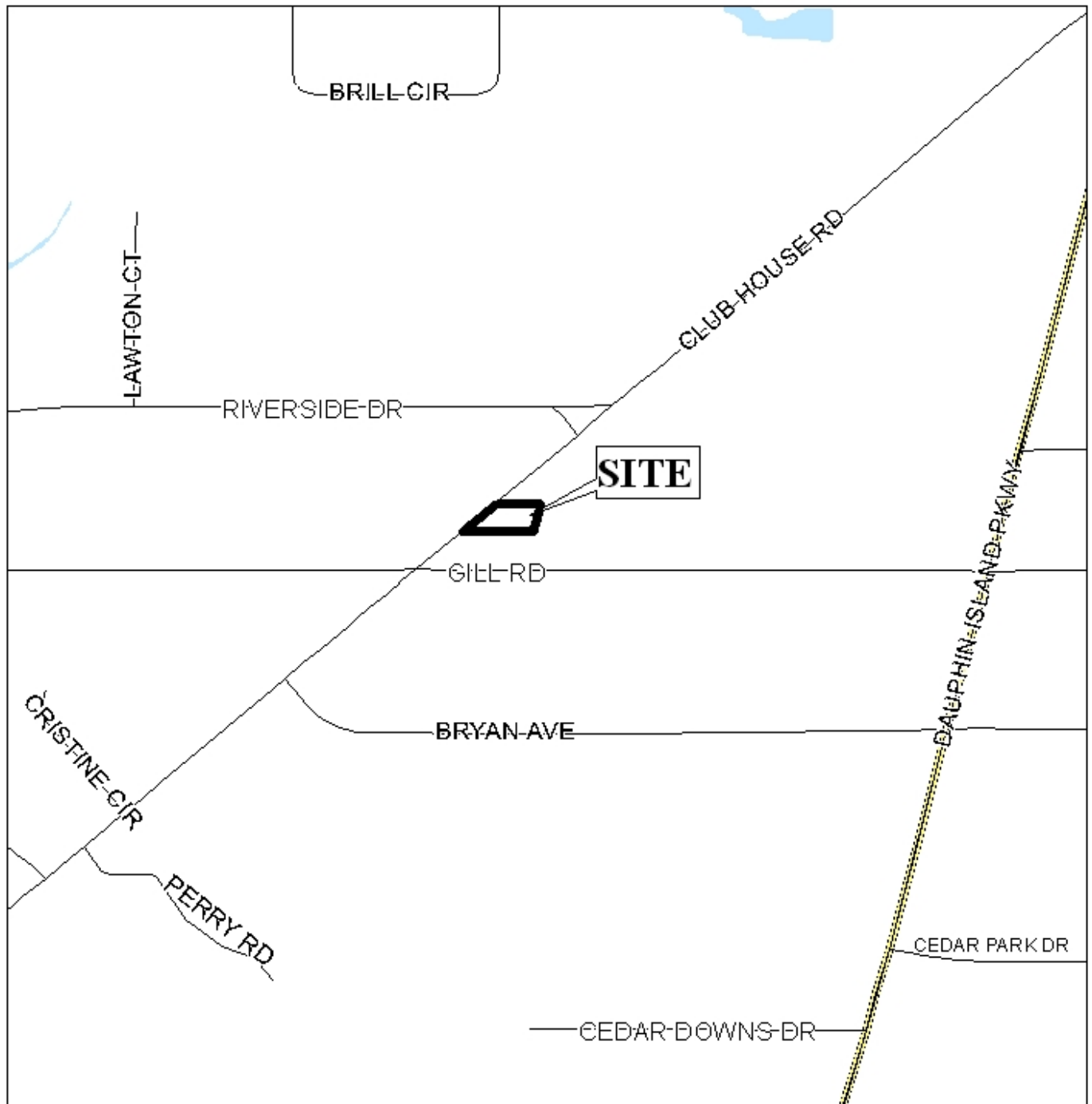
The lot is labeled on the plat with its size in acres and square feet, and should also be labeled on the Final Plat, if approved.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.2., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) placement of the labeling of the lot with its size in square feet;
- 2) placement of the 25-foot minimum building setback line;
- 3) placement of a note on the Final Plat limiting the development to one curb cut to Club House Road, with the size, design, and location of all curb cuts to be approved by Mobile City Engineering and conform to AASHTO standards;
- 4) placement of the dedicated right-of-way;
- 5) compliance with Engineering comments (*Revise the flood statement on the map to reflect "X-Unshaded" as determined by "scaling". Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer*);
- 6) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 7) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



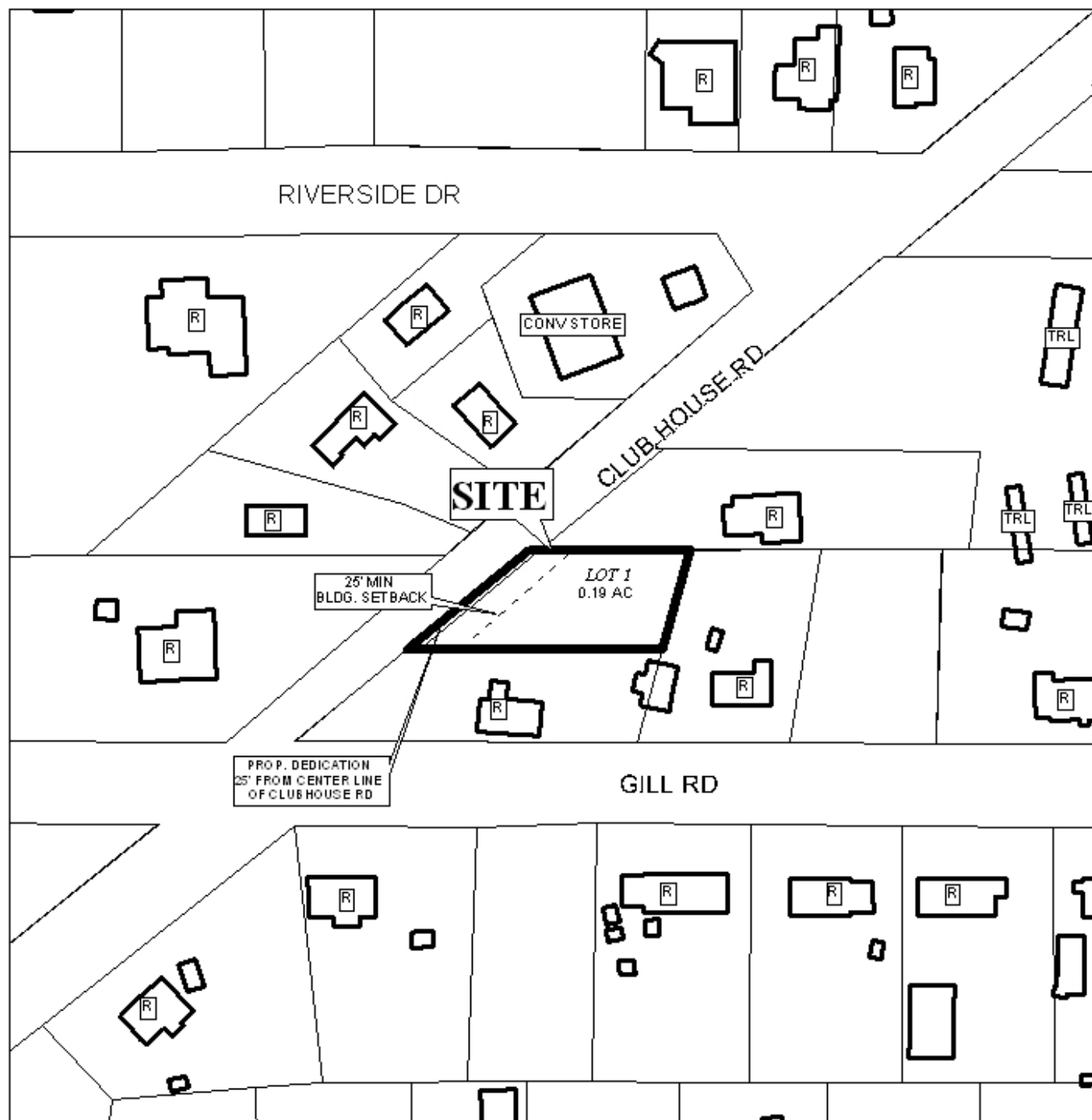
APPLICATION NUMBER 10 DATE May 19, 2011

APPLICANT Harper's Place Subdivision

REQUEST Subdivision



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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