

HAINT BLUE SUBDIVISION

Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label all flood zones.
- C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- D. Show and label the existing drainage easement along the western side of LOT 1.
- E. Provide and label the monument set or found at each subdivision corner.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Traffic Engineering Comments: Each lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any on-site parking provided, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)

Map for Mobile Development Area(s) and Intent: Downtown

- Infill development that complements the existing character and enhances the pedestrian-friendly urban environment
- Fewer surface parking lots - more structured parking
- Increased streetscaping, including improved sidewalks, street furniture and lighting along corridors
- Greater mix of uses - retail, restaurant, office, residential

The plat illustrates the proposed 0.7 acre \pm , 2 lot subdivision which is located on the North side of Monroe Street, 125' \pm East of South Jefferson Street, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots from one existing metes-and-bounds tax parcel. The site is developed with two buildings, and the request is to divide the property so that each building is on a separate lot.

The site is located within in the T-5.1 Subdistrict of the Downtown Development District (DDD). The DDD has specific requirements regarding the subdivision of property, and as it is a part of the Zoning Ordinance, not the Subdivision Regulations, this review will be primarily based upon the DDD requirements.

As proposed, Lot 1 will be approximately 128 feet wide, while Lot 2 will be approximately 130 feet wide at the street frontage. Per the DDD requirements, lots may be between 14 and 180 feet wide in T-5.1 Sub-districts. The lots will range in size from 12,650 square feet to 19,515 square feet.

Building setbacks within a T-5.1 Sub-district, according to Section 64-3.I.8.(d) of the Zoning Ordinance, are as follows: front, from 0 to 5 feet; side and rear, 0 feet. The preliminary plat includes a note listing all applicable building setbacks. The existing building on Lot 1 is setback approximately 11.4 feet, while the existing building on Lot 2 appears to be setback 0.1 feet at its minimum distance. The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, should be waived in lieu of the setback requirements T-5.1 Subdistricts of the Downtown Development District, found within the Zoning Ordinance.

There is a 20-foot parking setback requirement for the T-5.1 Sub-district. This is noted on the preliminary plat, however, it should be pointed out that it appears that there may be existing parking within this required setback, thus modifications to both Lots 1 and 2 will be required to ensure that all parking is at least 20-feet from the front property line. All parking areas must be appropriately screened per the requirements of Section 64-3.I.11.(b)(3) of the Zoning Ordinance.

Section 64-3.I.11.(c)(3) of the Zoning Ordinance limits driveway widths to 25 feet within the frontage. Lot 1 has an existing driveway width of approximately 114 feet, while Lot 2 has an existing driveway width of approximately 48 feet. Each driveway should be reduced in width to

25 feet, with the remaining area restored with sidewalks, curb and gutter, per City of Mobile requirements.

Frontage build-outs in T-5.1 Subdistricts shall be a minimum of 80%, per Section 64-3.I.15.(a)(2) of the Zoning Ordinance. Where the build-out is less than 80%, a streetscreen ranging in height from 4 to 8 feet is required. The build-out of proposed Lot 1 appears to be 47%, while the build-out of Lot 2 appears to be 62%, thus streetscreens will be required. Materials for streetscreens are specified in Section 64-3.I.15.(a)(2)III. of the Zoning Ordinance.

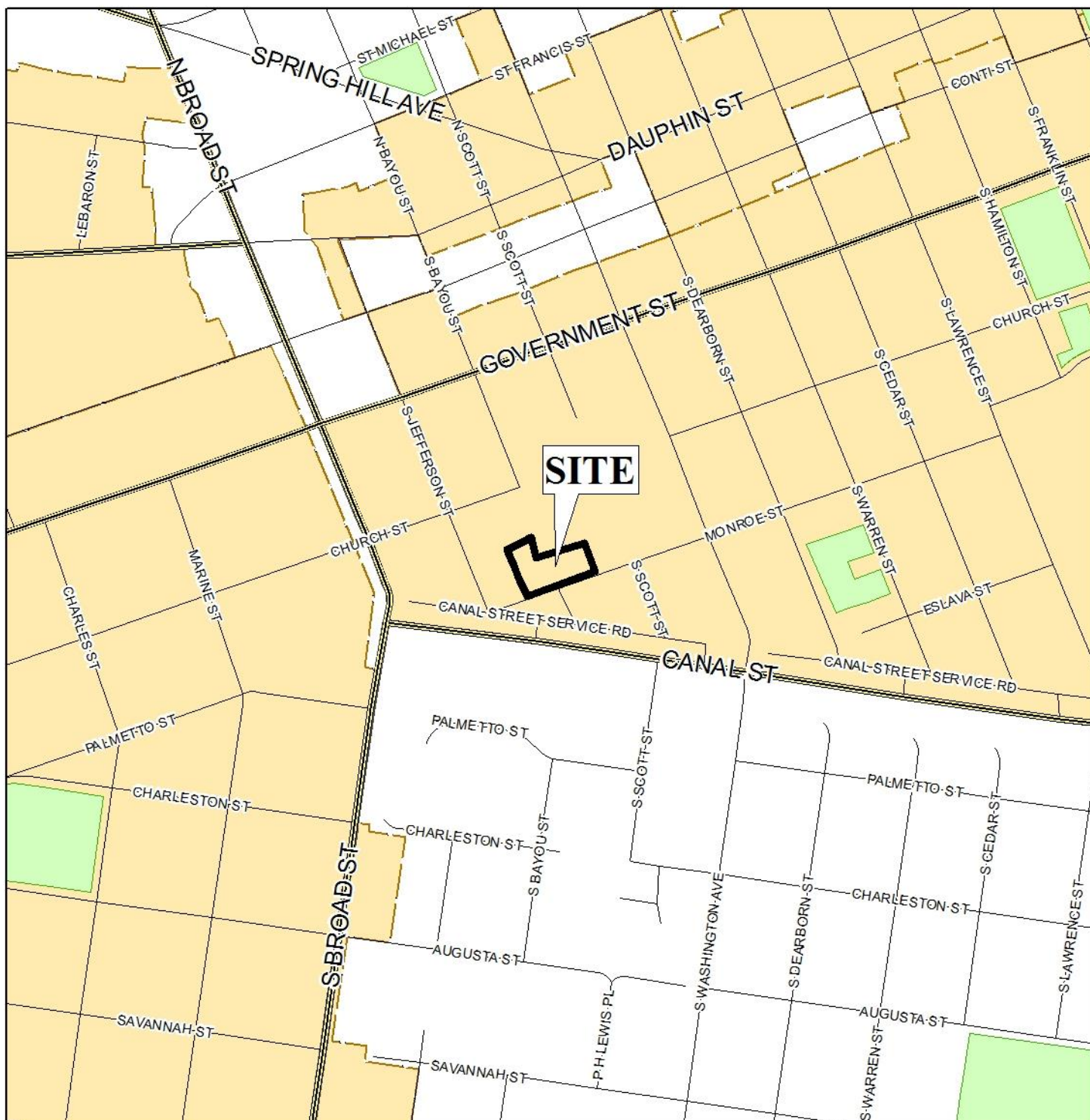
Based upon the preceding, and with a waiver of Section V.D.9. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the plat and placement of a note on the plat to reflect the provision of a streetscreen for each lot, in compliance with Section 64-3.I.15.(a)(2) of the Zoning Ordinance;
- 2) Revision of the plat to depict the 20-foot parking setback line, required by Section 64-3.I.8.(d) of the Zoning Ordinance;
- 3) Placement of a note on the plat stating that parking shall be screened in accordance with Section 64-3.I.11.(b)(3) of the Zoning Ordinance;
- 4) Placement of a note on the plat stating that each lot is limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and to comply with AASHTO standards;
- 5) Revision of the plat and placement of a note on the plat to reflect a maximum driveway width of 25 feet for each lot, in compliance with Section 64-3.I.11.(c)(3) of the Zoning Ordinance: removed driveway areas to be restored with curb-and-gutter and sidewalks, per City of Mobile requirements;
- 6) compliance with Engineering comments (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Show and label all flood zones. C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. D. Show and label the existing drainage easement along the western side of LOT 1. E. Provide and label the monument set or found at each subdivision corner. F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. I. Provide a copy of the FINAL SUBDIVISION PLAT to the*

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- 7) *compliance with Traffic Engineering comments (Each lot is limited to one curb cut with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any on-site parking provided, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 8) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 9) *compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)); and*
- 10) *completion of the Subdivision process prior to any request for permits.*

LOCATOR MAP



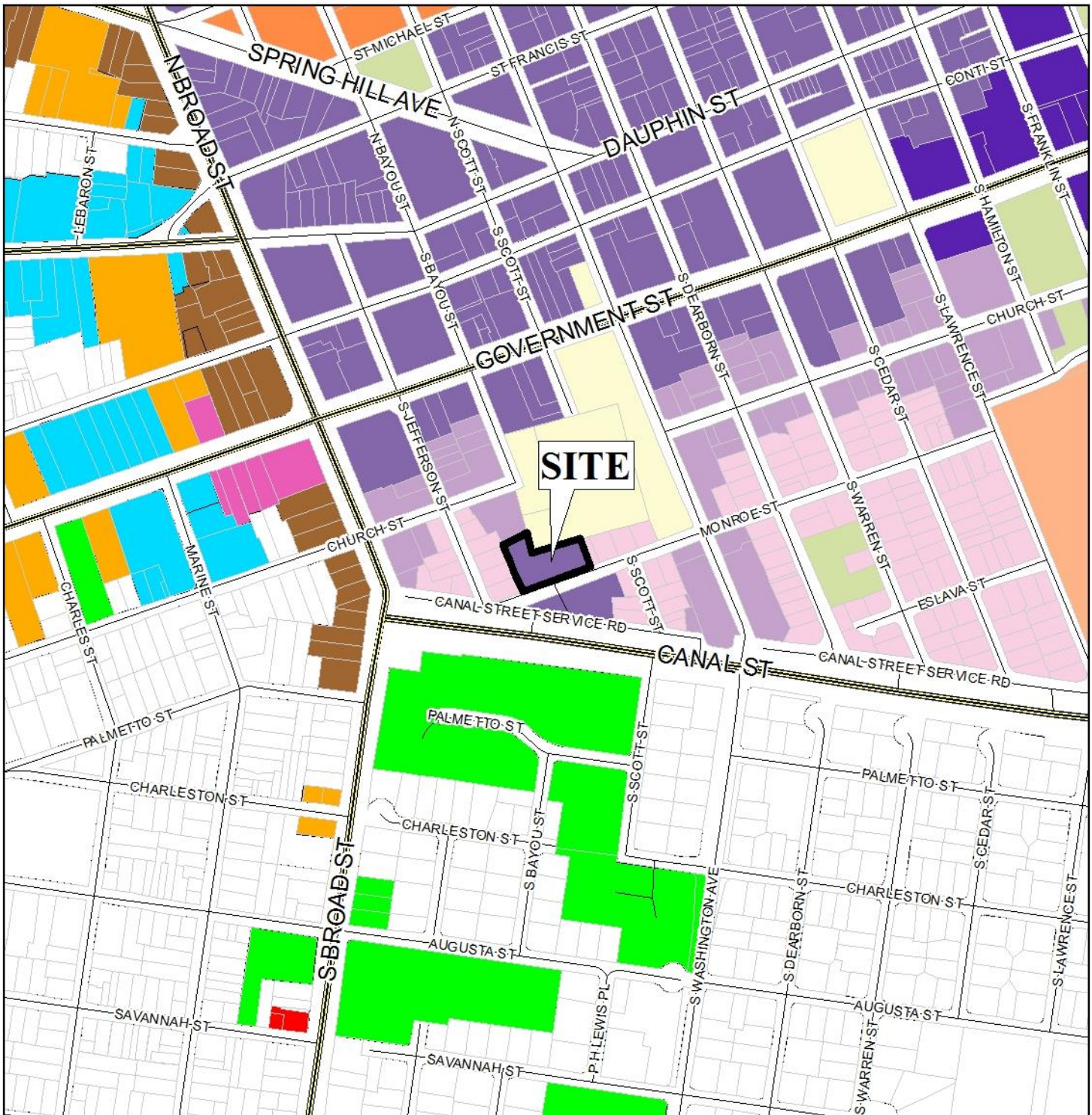
APPLICATION NUMBER 10 DATE December 1, 2016

APPLICANT Haint Blue Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



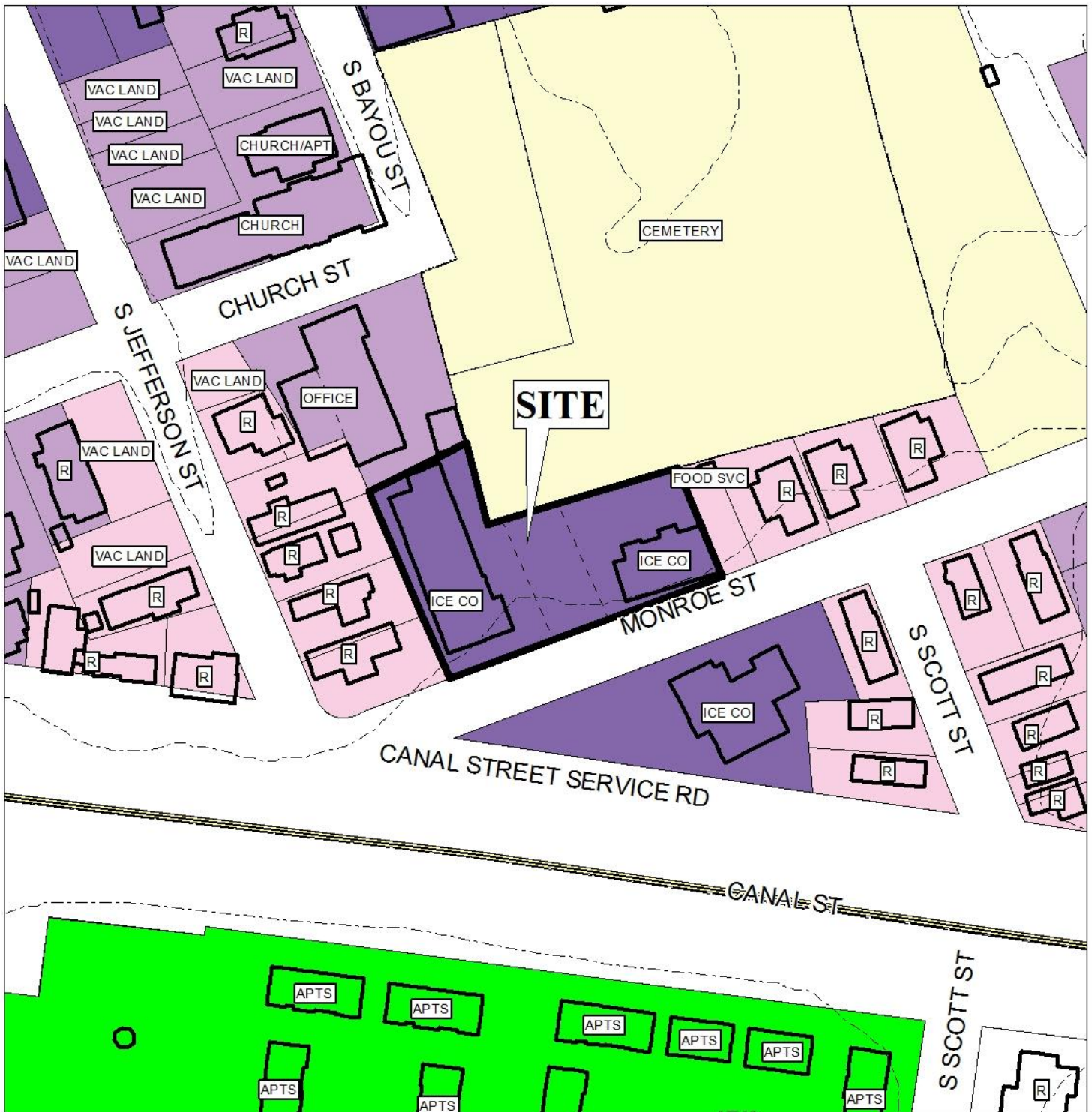
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REQUEST Subdivision



HAINT BLUE SUBDIVISION



APPLICATION NUMBER 10 DATE December 1, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



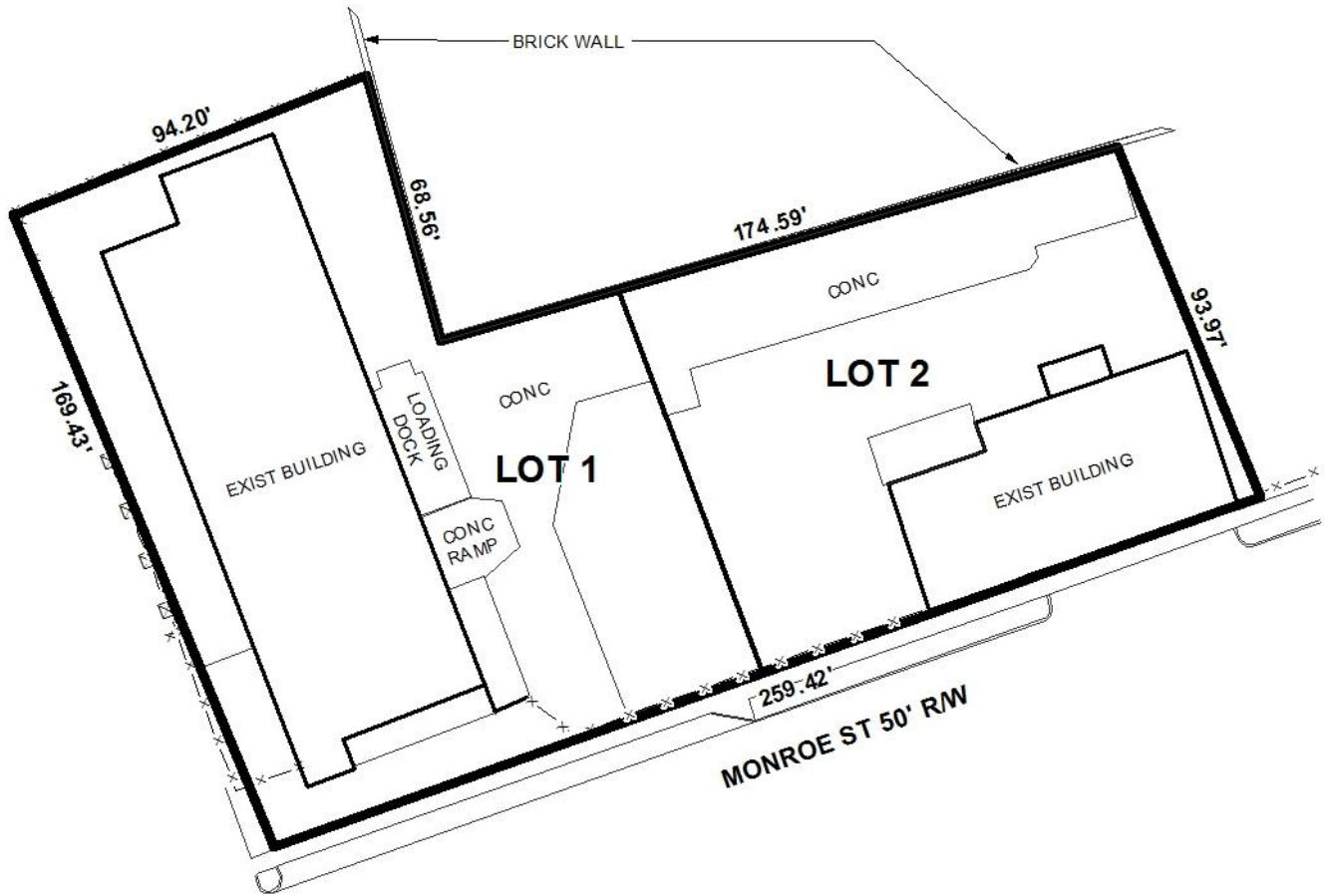
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DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE December 1, 2016
APPLICANT Haint Blue Subdivision
REQUEST Subdivision



