

PLANNING APPROVAL STAFF REPORT**Date: December 21, 2017****NAME**

Gary D.E. Cowles

LOCATION200 Dauphin Street
(Northwest corner of Dauphin Street and North Conception Street)**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

Downtown Development District T5.2 Sub-District

AREA OF PROPERTY

0.16± Acre

CONTEMPLATED USE

Planning Approval to allow an event space with an occupancy load of 142 persons in the Downtown Development District.

**TIME SCHEDULE
FOR DEVELOPMENT**

None provided

**ENGINEERING
COMMENTS**

No comments.

**TRAFFIC ENGINEERING
COMMENTS**

No traffic impacts anticipated with this request.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planning Approval to allow an event space with an occupancy load of 142 persons in the Downtown Development District (DDD). The DDD requires Planning Approval for certain uses with occupancy loads over 100 persons in a T5.2 District.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and

hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore *any* future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for Planning Approval.

The applicant states:

The project consists of conversion of an existing Occupancy Type B business (engineering firm) on the second floor of the building at the Northwest corner of Dauphin and N. Conception Streets to a facility for use as an Occupancy Type A-2 event venue. The second floor space will be a venue that will be rented out to individual users for private events.

The plan calls for removal of several partitions, doors, etc. to create 5 event rooms (two of the event rooms will be separated by a folding partition) accessed by the existing central corridor, renovation and expansion of the existing toilet rooms to provide the proper number of fixtures for the new occupancy and bring them up to ADA compliance. The existing break room will be utilized as a serving area in conjunction with the existing Wet Willies bar and kitchen on the first floor and will meet Mobile County Health Department criteria. This includes adding a hand sink and floor sink as well as Mobile County Health Department approved flooring, base board, wall covering, ceiling finish, shielded light fixtures, etc..

Occupancy load for the 5 event rooms and serving room will be 142 occupants based on 15 S. F. per occupant.

The second floor is served by an existing stair and elevator with an existing fire escape on the West side (rear) of the building that opens onto an alley. An ADA compliant lift will be installed on one set of gallery steps (the level of the existing gallery is several steps below the second floor). Emergency lights will added for the entire length of the fire escape and at the exterior gallery.

In addition, the existing fire sprinkler system and fire alarm coverage on the first floor will be expanded to cover the additional second floor space.

Existing mechanical, plumbing and electrical, and emergency lighting and exiting systems will be retained and modified for the new configuration. New light fixtures will be added to supplement existing fixtures. Several small ductless HVAC units will be installed, if required.

The subject site has been used commercially for many years as office space, and Wet Willies, which occupies the 1st floor of the building, wishes to convert the existing office space into event rooms that will be serviced by the existing kitchen associated with Wet Willies.

The site is located within a mixed-use area consisting of parking lots, offices, restaurants, retail, and condominium residential. The site is also located within the Entertainment District boundaries designated by the City Council.

There is no parking available on-site, however, there are numerous on-street parking spaces available as well as commercial surface parking lots within a two block area. While parking is not required for the reuse of existing buildings within the Downtown Development District, the availability of parking helps to address any concerns relating to creating any additional vehicular congestion.

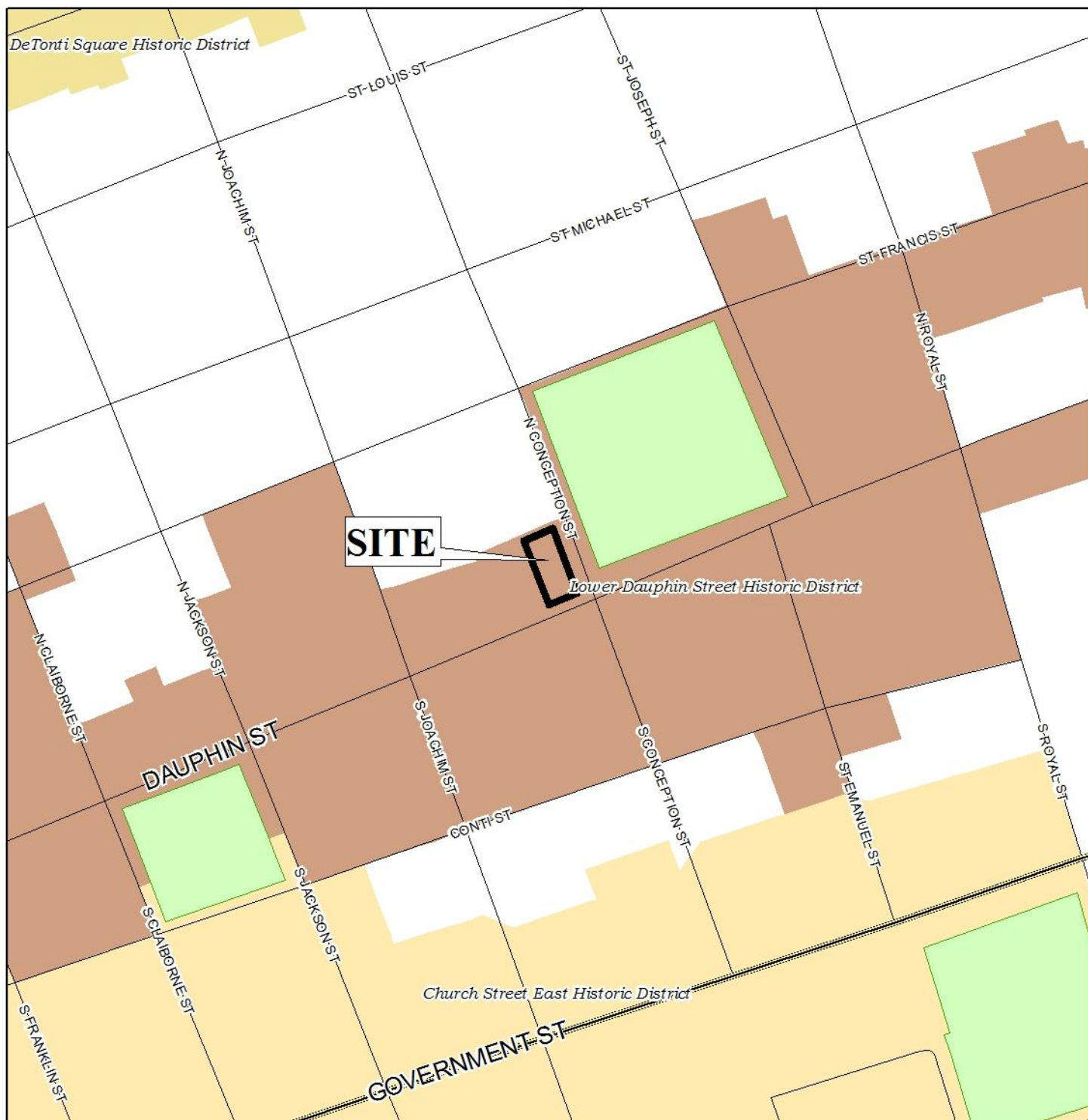
It should be noted that the submitted plans do indicate that a new wheelchair lift is proposed from the new event space to the existing balcony. As the site is located within the Lower Dauphin Street Historic District and within the Downtown Development District, a Certificate of Appropriateness and approval from the Consolidated Review Committee will be required prior to the permitting of any exterior alterations to the structure.

RECOMMENDATION

Planning Approval: Based upon the preceding, this application is recommended for Approval, subject to the following:

- 1) any increase in occupancy load will require new Planning Approval to be obtained from the Planning Commission;
- 2) obtainment of a Certificate of Appropriateness and approval from the Consolidated Review Committee will be required prior to the permitting of any exterior alterations to the structure; and
- 3) full compliance with all municipal codes and ordinances.

LOCATOR MAP



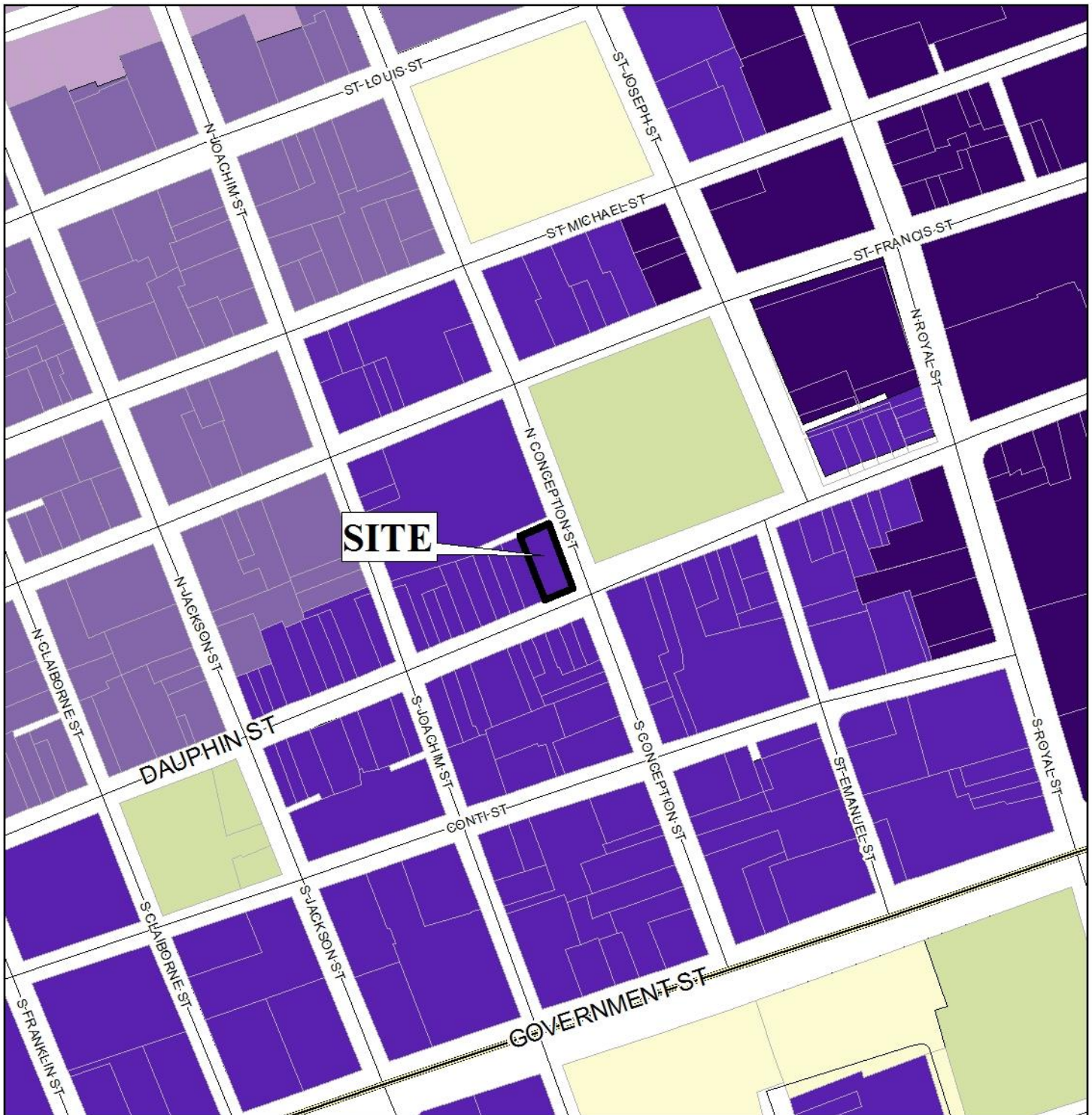
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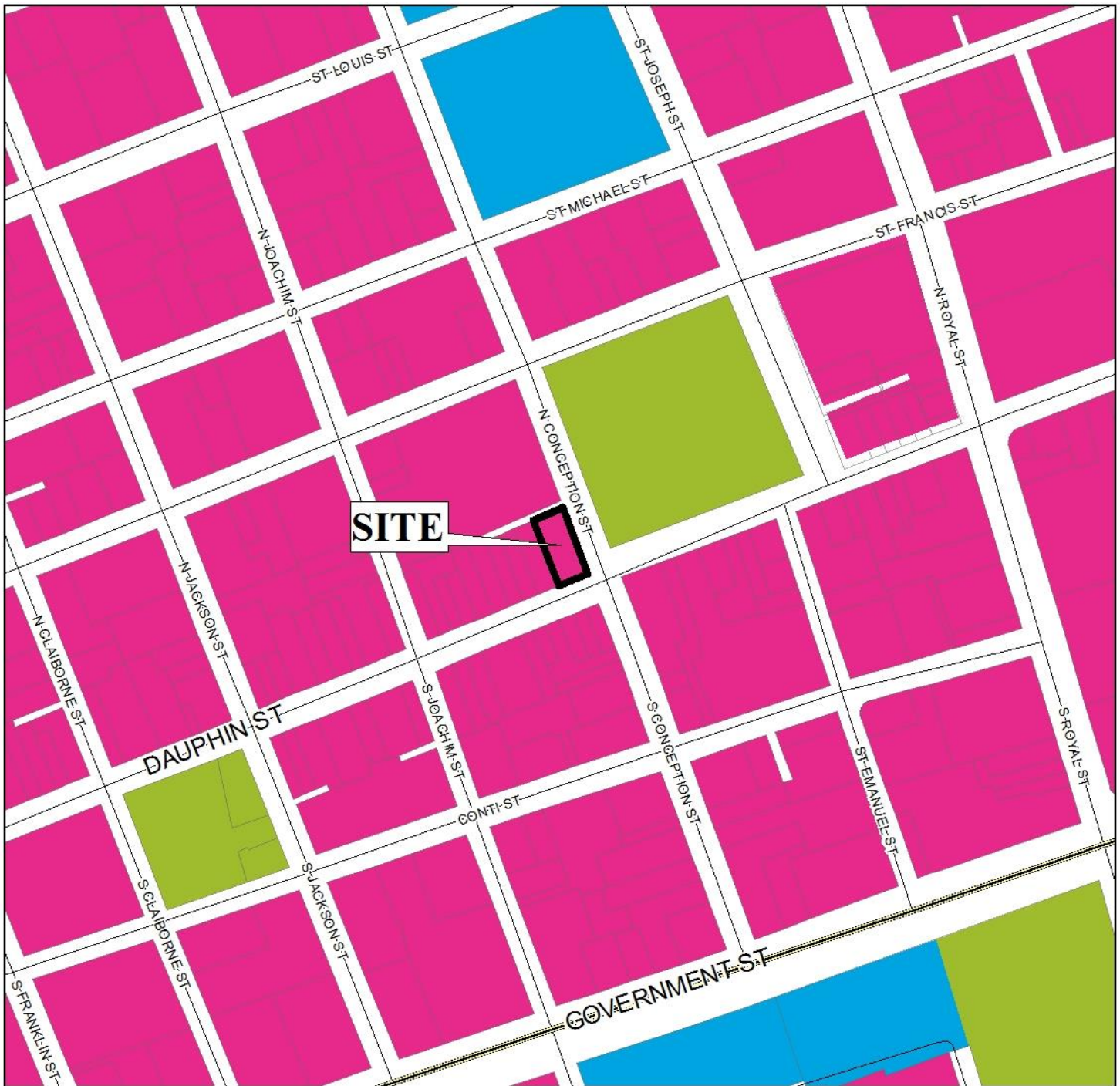
LOCATOR ZONING MAP



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FLUM LOCATOR MAP



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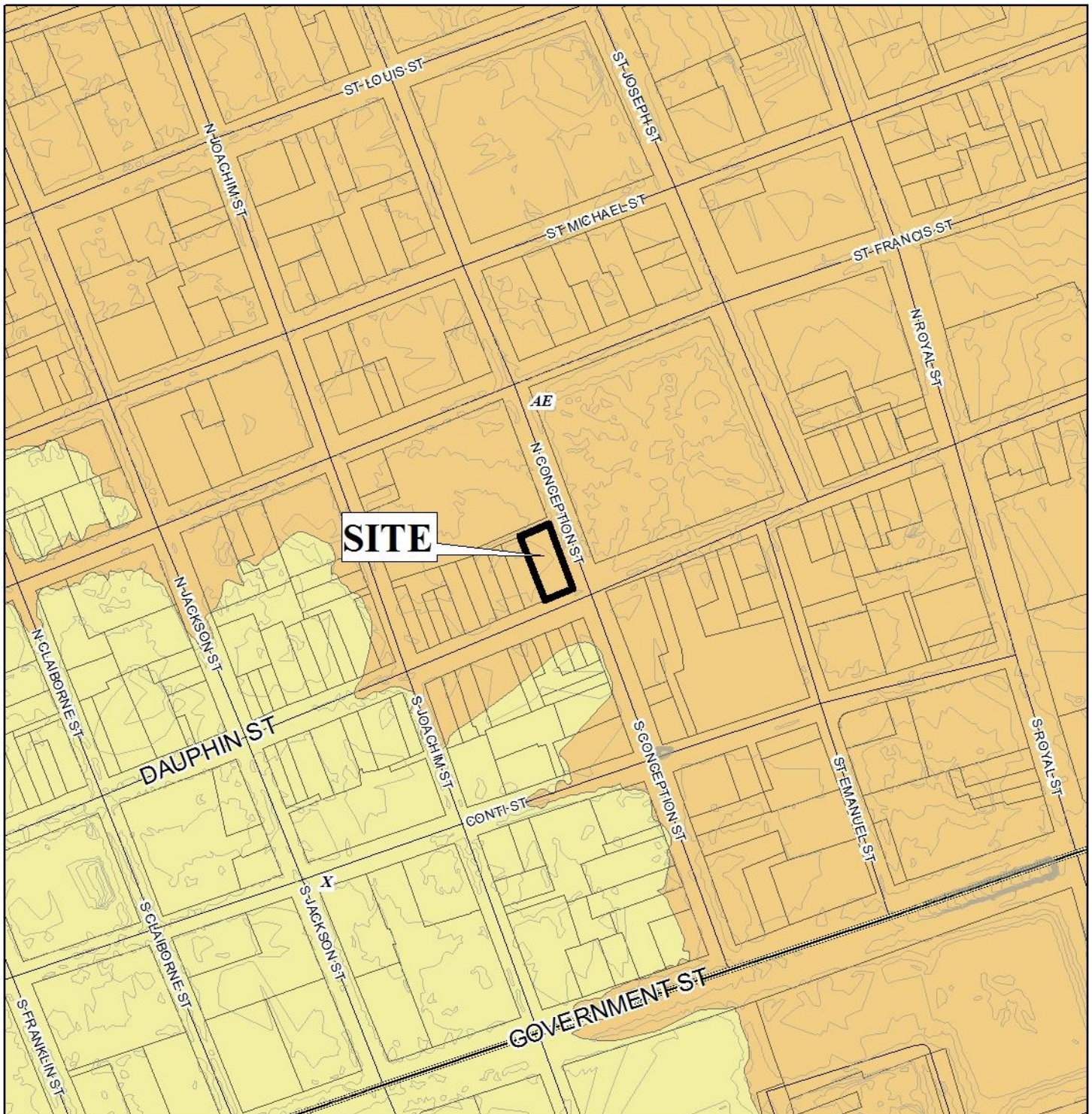
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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



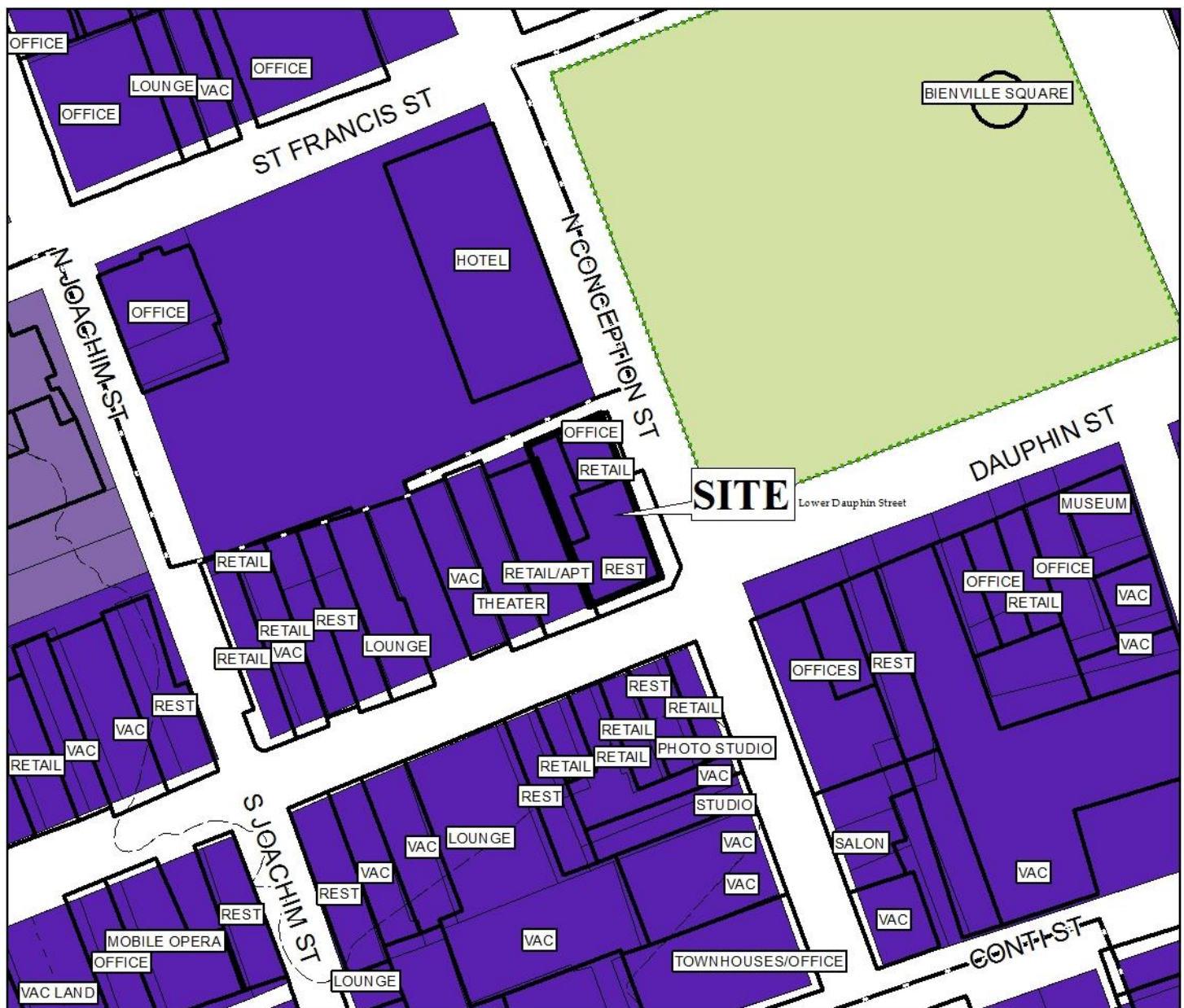
ENVIRONMENTAL LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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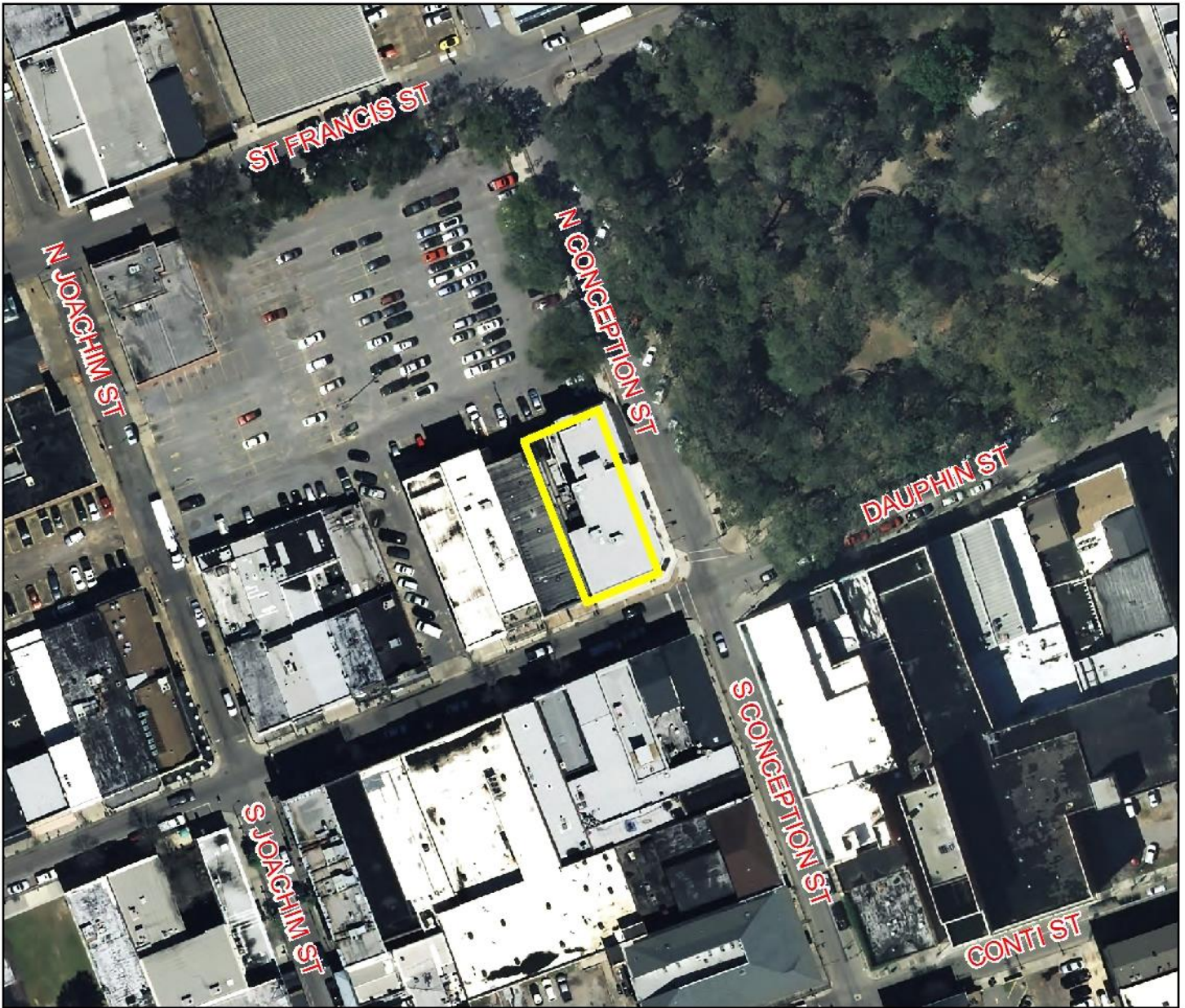
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

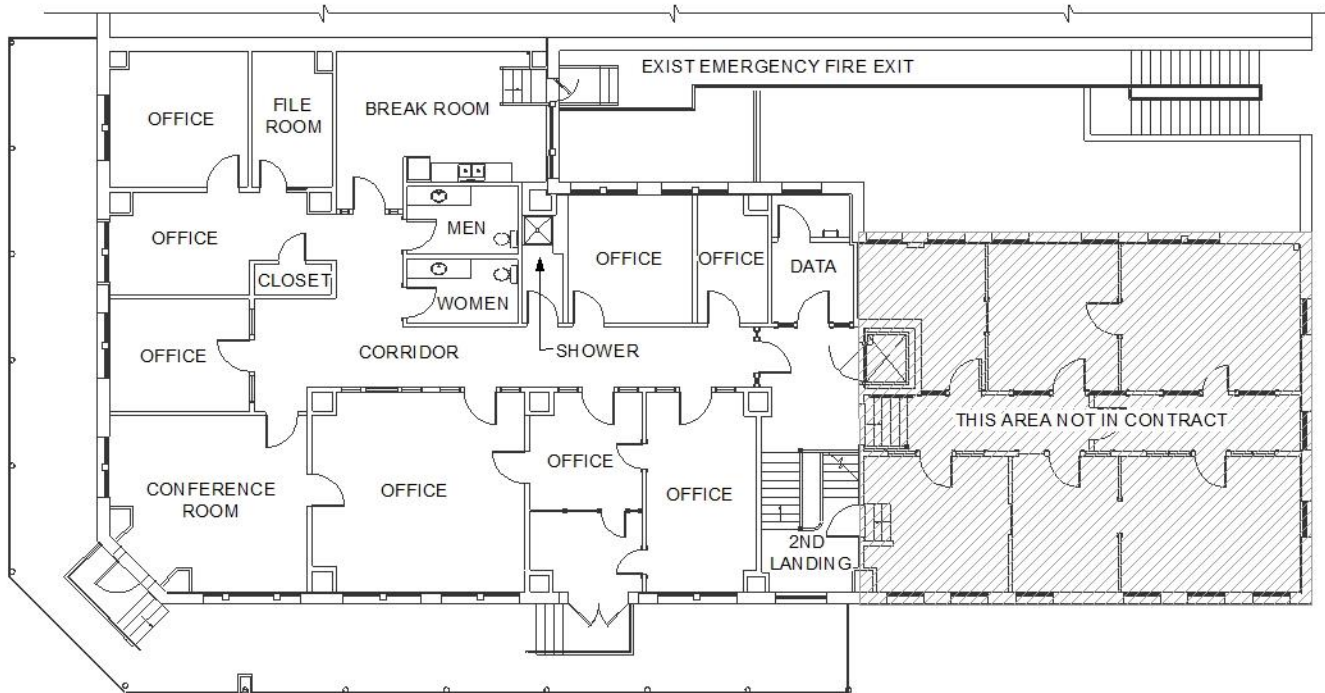


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EXISTING SITE PLAN



2ND FLOOR EXISTING PLAN

The site plan illustrates the existing floor plan.

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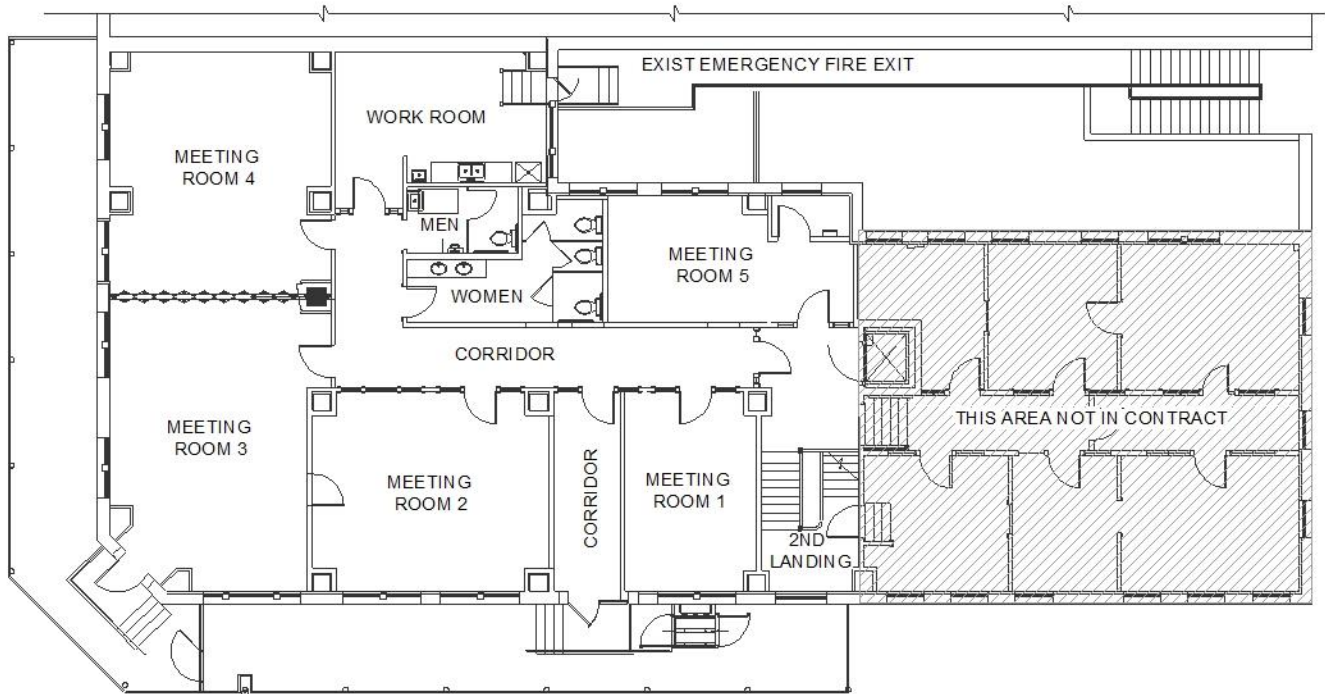
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PROPOSED SITE PLAN



2ND FLOOR PROPOSED PLAN

The site plan illustrates the proposed floor plan.

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