

## **FOSTER/ BELLE FONTAINE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWWS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 3 lot, 2.0 ± acre subdivision which is located on the Southwest corner of Belle Fontaine Boulevard and Pineview Avenue extending to Azalea Street, and is located in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create 3 legal lots of record from 1 metes-and-bounds parcel (composed of 8 lots and portions of 6 lots). The site is located with the Belle Fontaine Beach subdivision, which was recorded on February 6, 1926 and is the only application within the original subdivision that has come before the Commission to be re-subdivided.

The site fronts Belle Fontaine Boulevard and Pineview Avenue, both minor streets without curb and gutter as well as an undeveloped unimproved right-of-way. The plat depicts all of the right-of-way widths as “varies”. All abutting rights-of-way should be a minimum of 60’ in width due to the lack of curb and gutter. Where less than 60’, the minimum building setback line should be adjusted to be measure from a point 30’ from the centerline of each right-of-way. An increased building setback should be required in lieu of right-of-way dedication due to the fact that the site is within a platted subdivision. Also, the minimum right-of-way width should be labeled for all abutting right-of-ways.

GIS parcel data depicts the site as having a corner radius at the intersection of Belle Fontaine Boulevard and Pineview Avenue; however the plat does not reflect the radius. If determined necessary by the County Engineer, the plat should be revised to depict dedication of a curb radii at the intersection of Belle Fontaine Boulevard and Pineview Avenue per Section V.D.6. of the Subdivision Regulations.

The proposed lots appear to meet the minimum size and frontage requirements as regulated by Section V.D.2. of the Subdivision Regulations for lots with public water and individual septic systems. The lots sizes also appear to meet the width to depth ratio as regulated by Section V.D.3. of the Subdivision Regulations.

Lot 1 is currently developed with a residence and with one existing curb-cut to Belle Fontaine Boulevard and a second driveway to Pineview Avenue. If approved, a note should be placed on the Final Plat stating that Lot 1 is limited to 1 curb-cut to each street, and that lots 2 and 3 are limited to 1 curb-cut with the size, design, and exact location to be approved Mobile County Engineering and conform to AASHTO standards.

Based on the fact Pineview Avenue is also an unpaved, substandard road, a note should also be placed on the Final Plat, stating that no future subdivision of Lots 2 and 3 is allowed until adequate frontage on a compliant public or private street is provided.

The minimum building setback line, required in Section V.D.9., is not shown on the preliminary plat but should be shown on the Final Plat, adjusted to reflect a 60' width right-of-way.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to depict the 25' minimum building setback lines from all street frontages, adjusted for the additional 30' from centerline of right-of-way;
- 2) revision of the plat to depict the labeling of the rights-of-way width for all abutting streets;
- 3) revision of the plat to provide dedication of the corner radii at Belle Fontaine Boulevard and Pineview Avenue per Section V.D.6. of the Subdivision Regulations, if determined necessary by the County Engineering;
- 4) retention of the lot sizes in square feet and acres;
- 5) placement of a note on the Final Plat stating that Lot 1 is limited to 1 curb-cut to each street, and Lot 2 and 3 are limited to 1 curb-cut each with the size, design, and exact location to be approved by County Engineering, and conform to AASHTO standards;
- 6) compliance with Engineering comments: *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."*; and
- 7) compliance with Fire comments: *"Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)."*

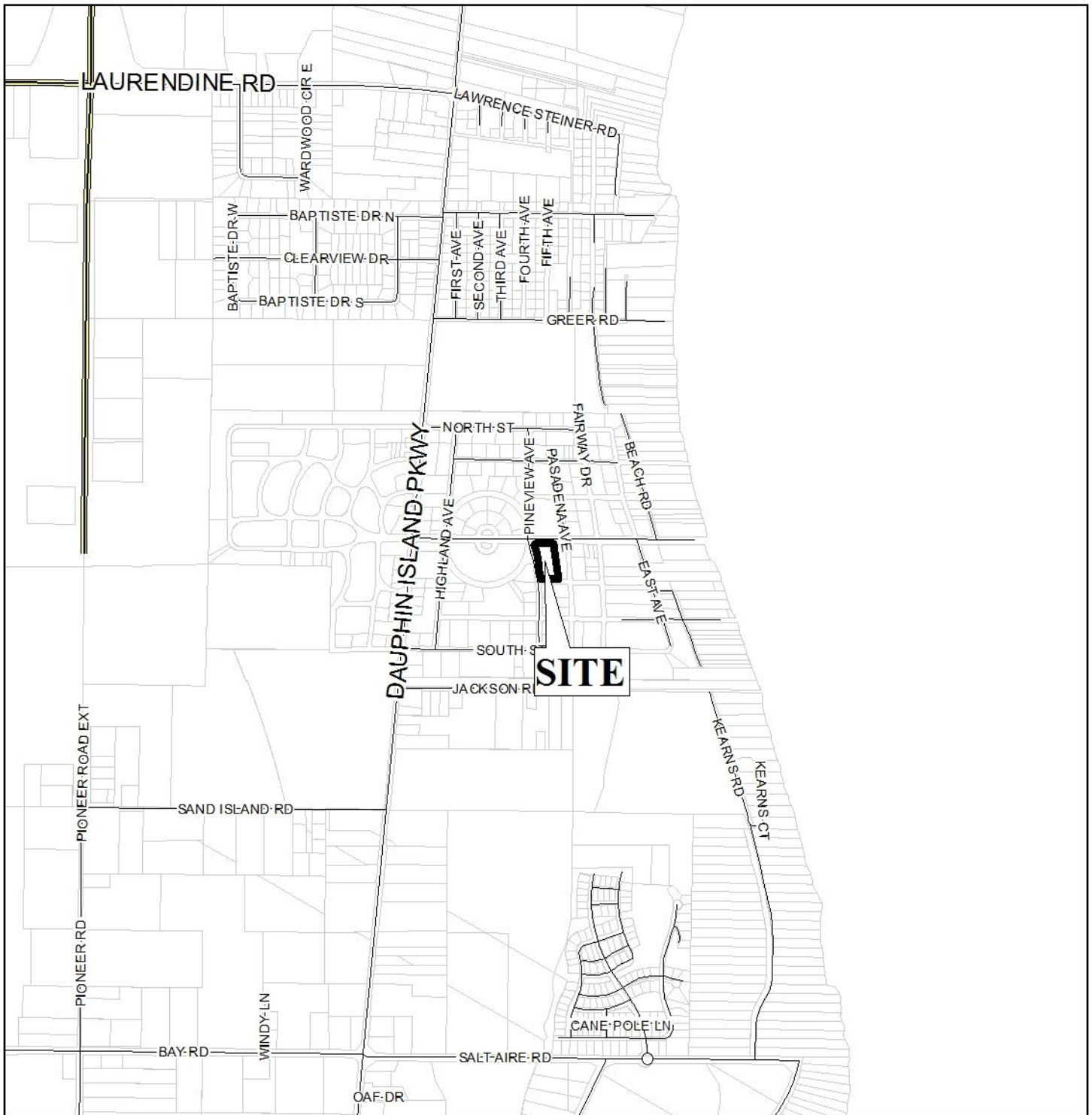
# LOCATOR MAP



APPLICATION NUMBER 10 DATE December 15, 2016  
 APPLICANT Foster/Belle Fontaine Subdivision  
 REQUEST Subdivision



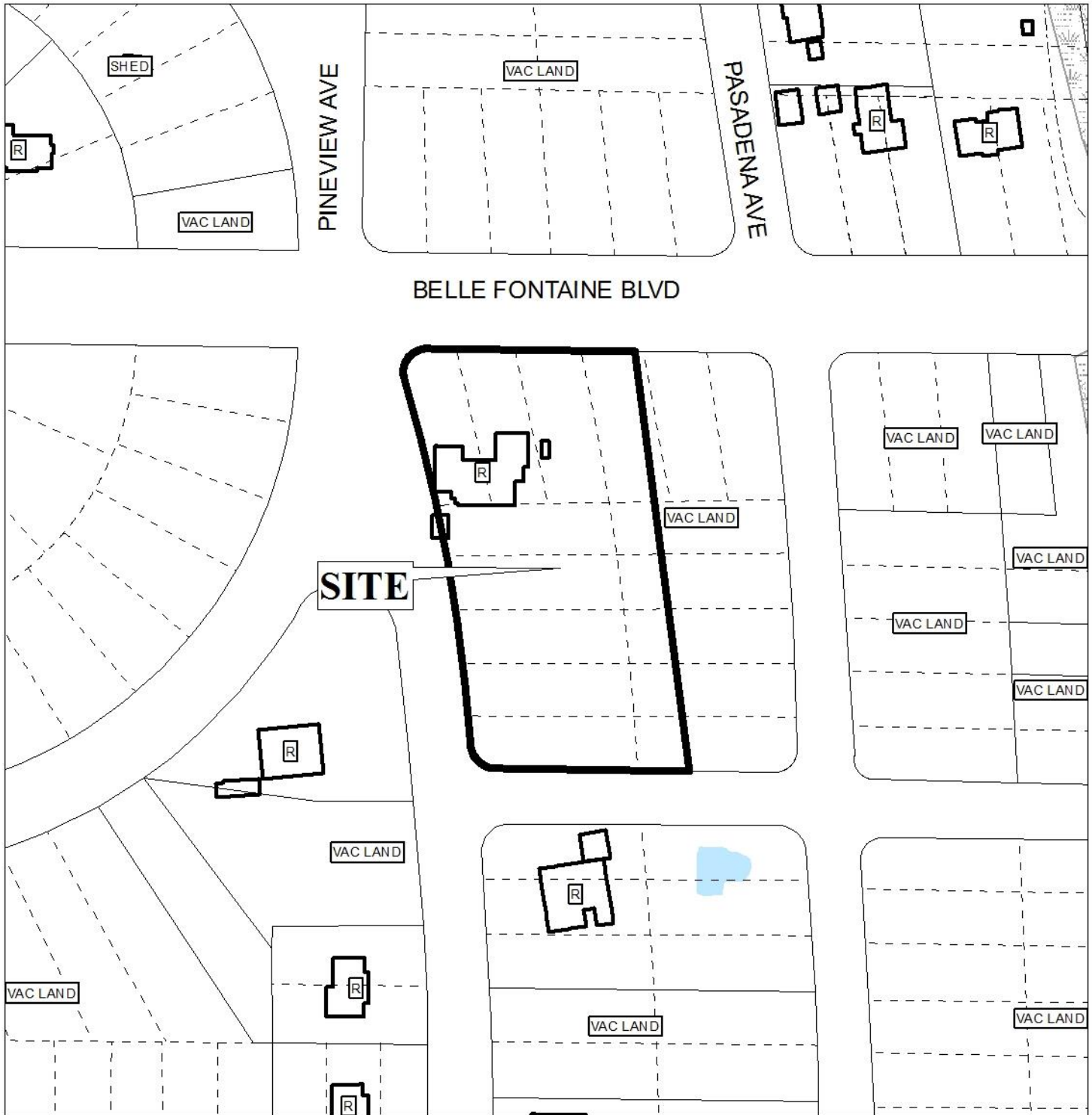
# LOCATOR ZONING MAP



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# FOSTER/BELLE FONTAINE SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



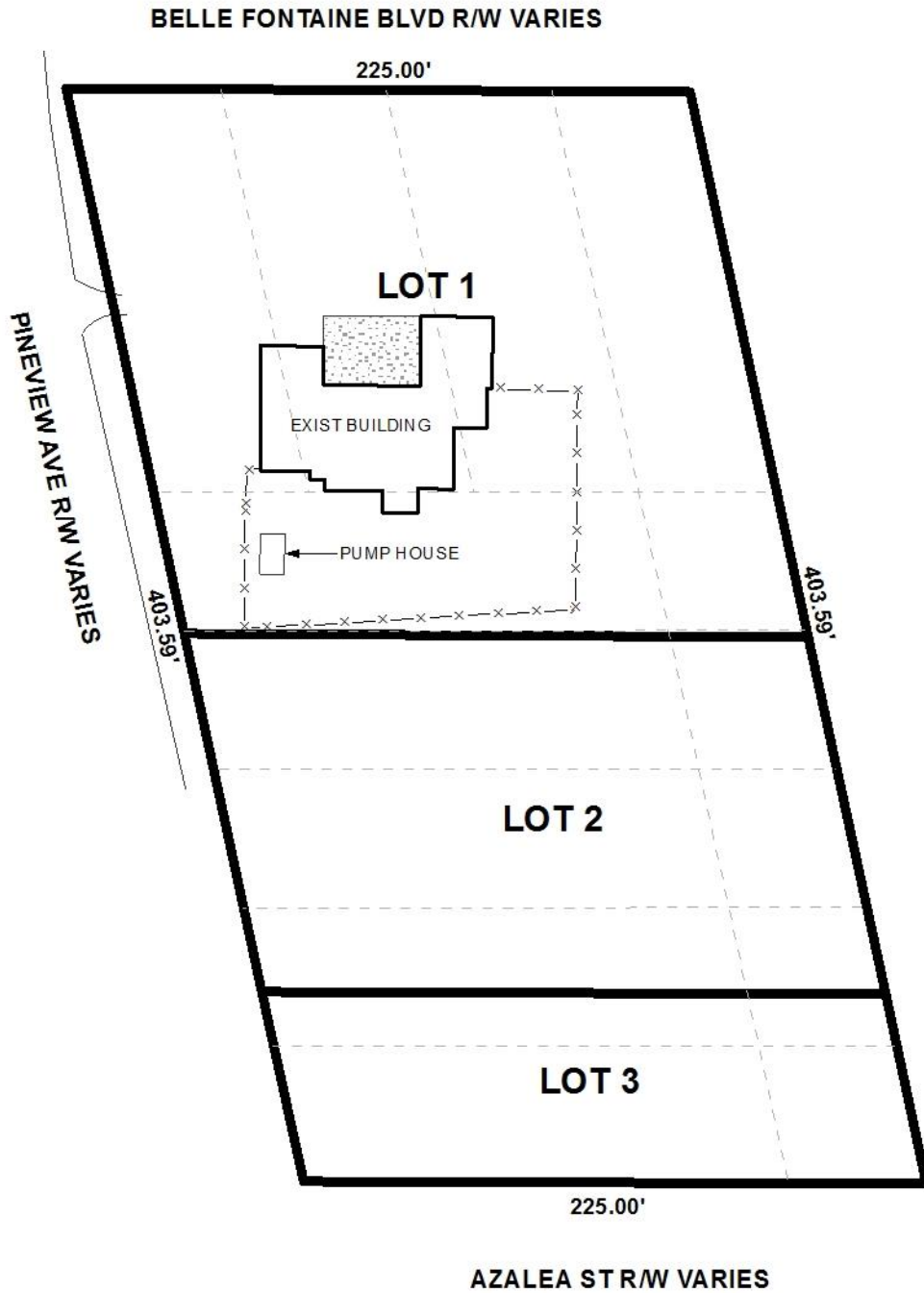
# FOSTER/BELLE FONTAINE SUBDIVISION



APPLICATION NUMBER 10 DATE December 15, 2016



# DETAIL SITE PLAN



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