

FARIS SUBDIVISION

Engineering Comments: Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. If the proposed improvements increase the total impervious area of the site to over 4,000 square feet the owner will be required to provide on-site detention which must comply with all storm water and flood control ordinances of the City of Mobile. Any existing sidewalk panels or curb cuts along the property frontage that are cracked or damaged are required to be replaced according to current standards and ordinances.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: No comments.

The plat illustrates the proposed 0.2± acre, 1-lot subdivision which is located on the North side of Old Government Street, 450'± West of Topic Street, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a legal lot of record from one metes and bounds parcel. The lot size is labeled, and the proposed lot would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size should be included in square feet on the Final Plat, as on the preliminary plat, if approved.

The 25-foot minimum building setback line, required in Section V.D.9., is illustrated and labeled on the preliminary plat, and should be retained on the Final Plat, if approved.

The site fronts Old Government Street, a collector street, is illustrated as having an adequate 70' right-of-way, therefore, no dedication is required.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that the development is limited to one curb cut to Old Government Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

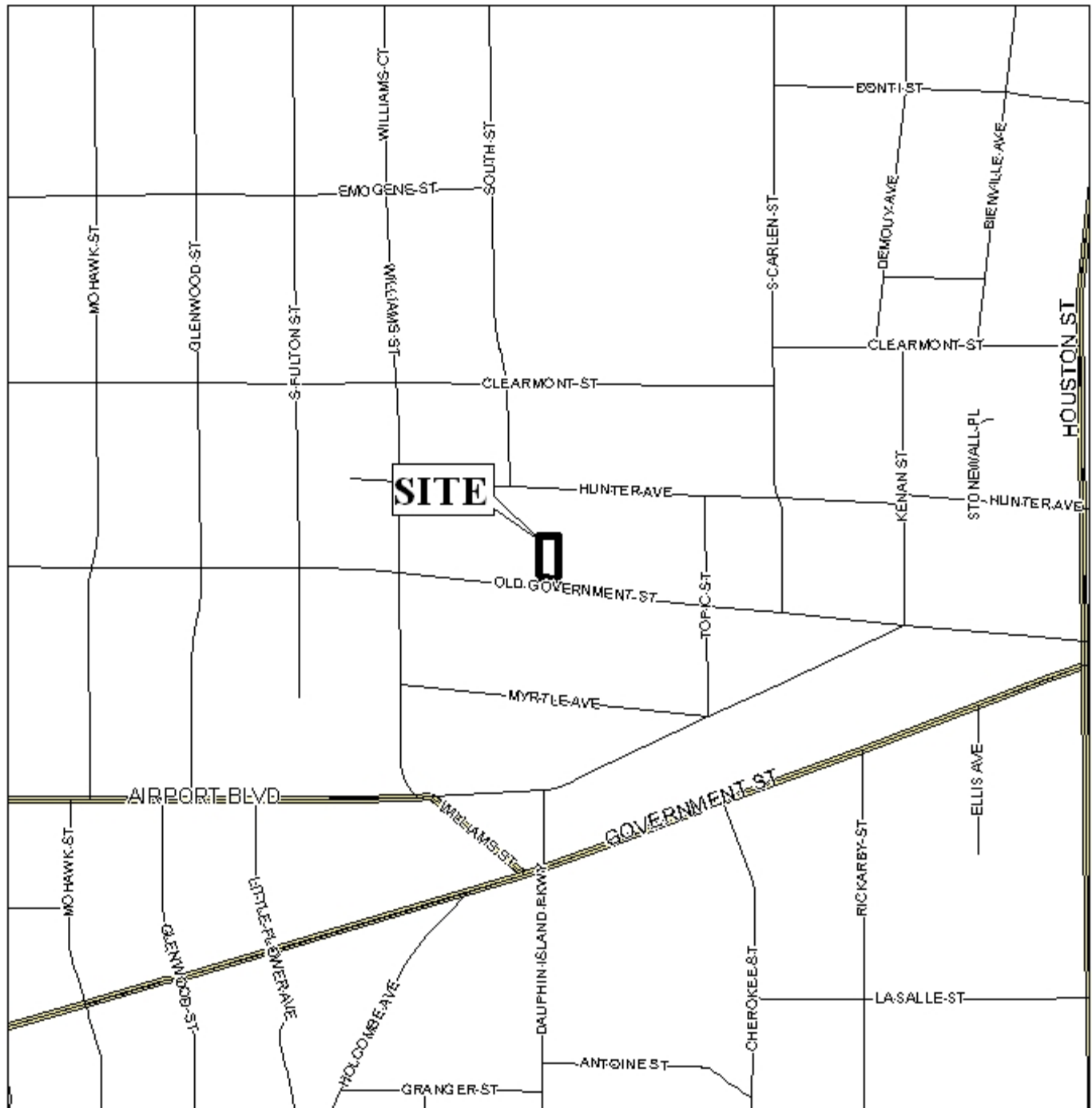
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of the 25-foot minimum building setback line along all right-of-way frontages;
- 2) retention of the labeling of the lot with its size in square feet, or placement of a table on the plat with the same information;
- 3) compliance with Engineering comments (*Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. If the proposed improvements increase the total impervious area of the site to over 4,000 square feet the owner will be required to provide on-site detention which must comply with all storm water and flood control ordinances of the City of Mobile. Any existing sidewalk panels or curb cuts along the property frontage that are cracked or damaged are required to be replaced according to current standards and ordinances.*);
- 4) compliance with Fire Department comments (*All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.*);
- 5) placement of a note on the Final Plat limiting the development to one curb cut to Old Government Street, with the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards; and
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

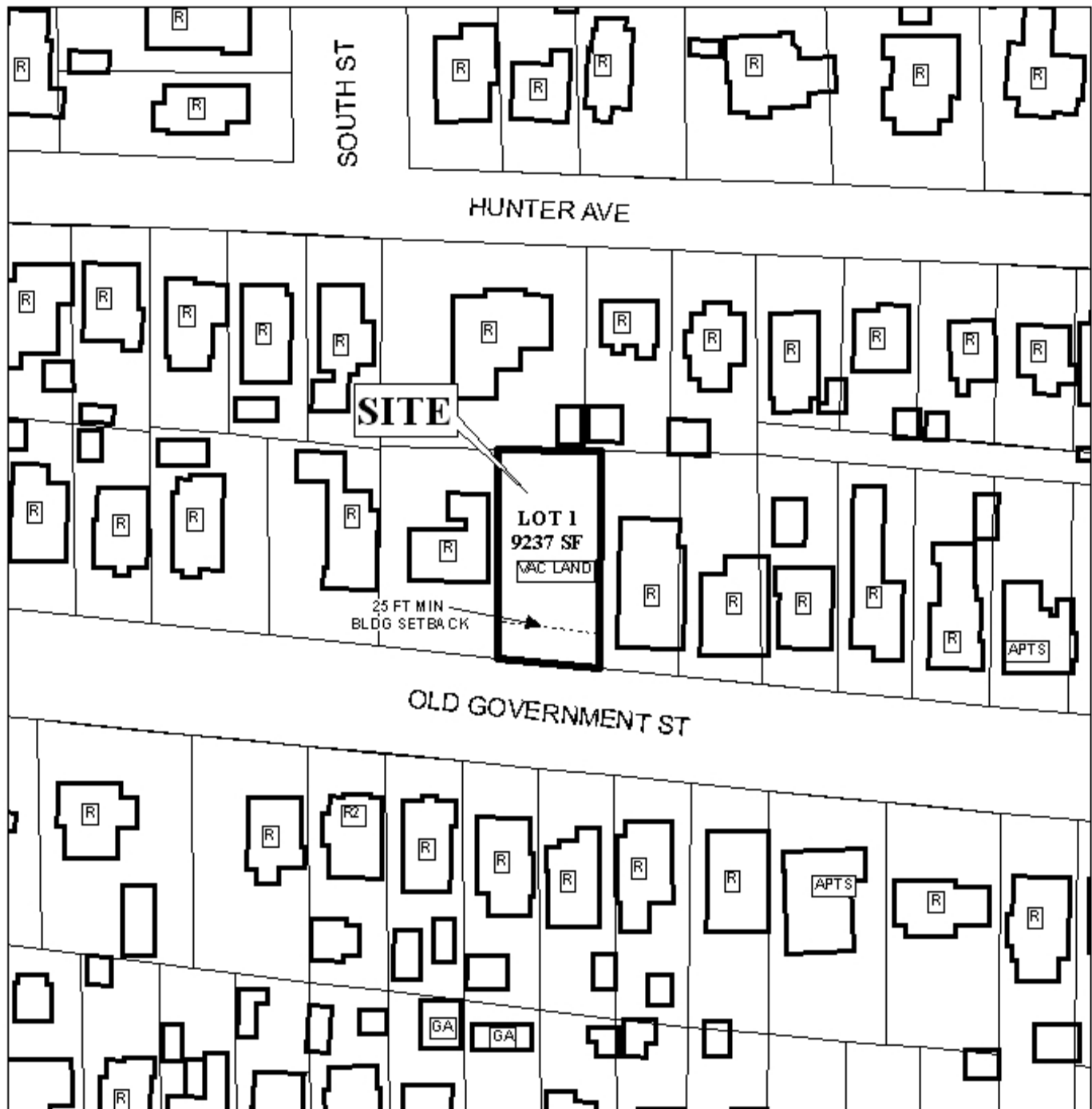
LOCATOR MAP



APPLICATION NUMBER 10 DATE February 16, 2012
APPLICANT Faris Subdivision
REQUEST Subdivision



FARIS SUBDIVISION



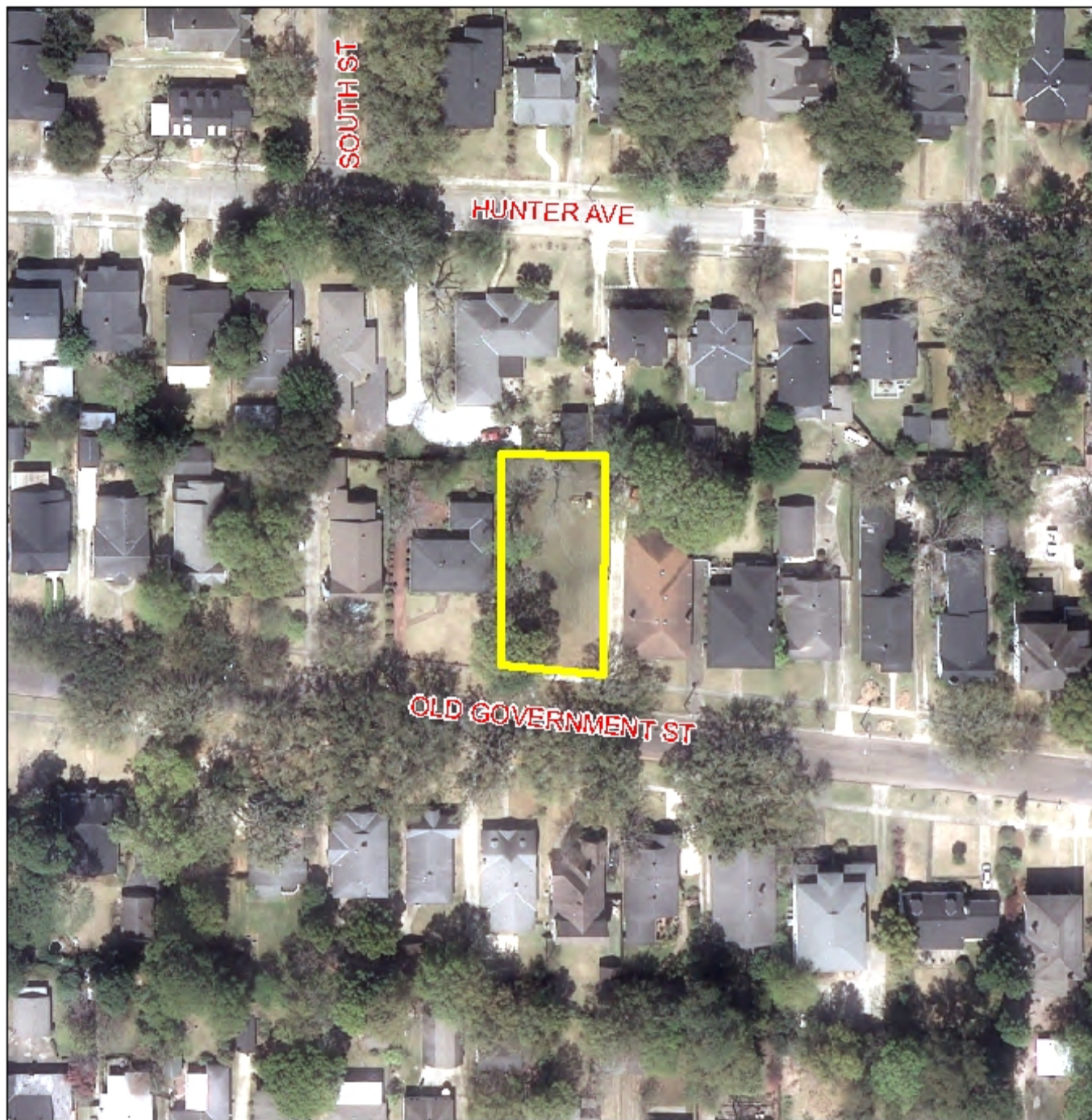
APPLICATION NUMBER 10 DATE February 16, 2012

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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