

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: April 2, 2009****DEVELOPMENT NAME**

Nazaree Full Gospel Church

LOCATION1695 West I-65 Service Rd North
(Northwest and Southwest corners of West I-65 Service
Road North and First Avenue [unopened public right-of-
way]).**CITY COUNCIL
DISTRICT**

District 1

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

2 Lots / 18.2 ± Acres

CONTEMPLATED USEPlanned Unit Development Approval to allow shared
access and parking between two building sites.**TIME SCHEDULE
FOR DEVELOPMENT**

Underway

**ENGINEERING
COMMENTS**

Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS show wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate. Development shall comply with 2003 IFC Section 503; 508.5.1 and appendix D. Buildings may require the installation of a sprinkler system.

REMARKS

The applicant is requesting a one year extension of the Planned Unit Development approval to allow shared access and parking between two building sites.

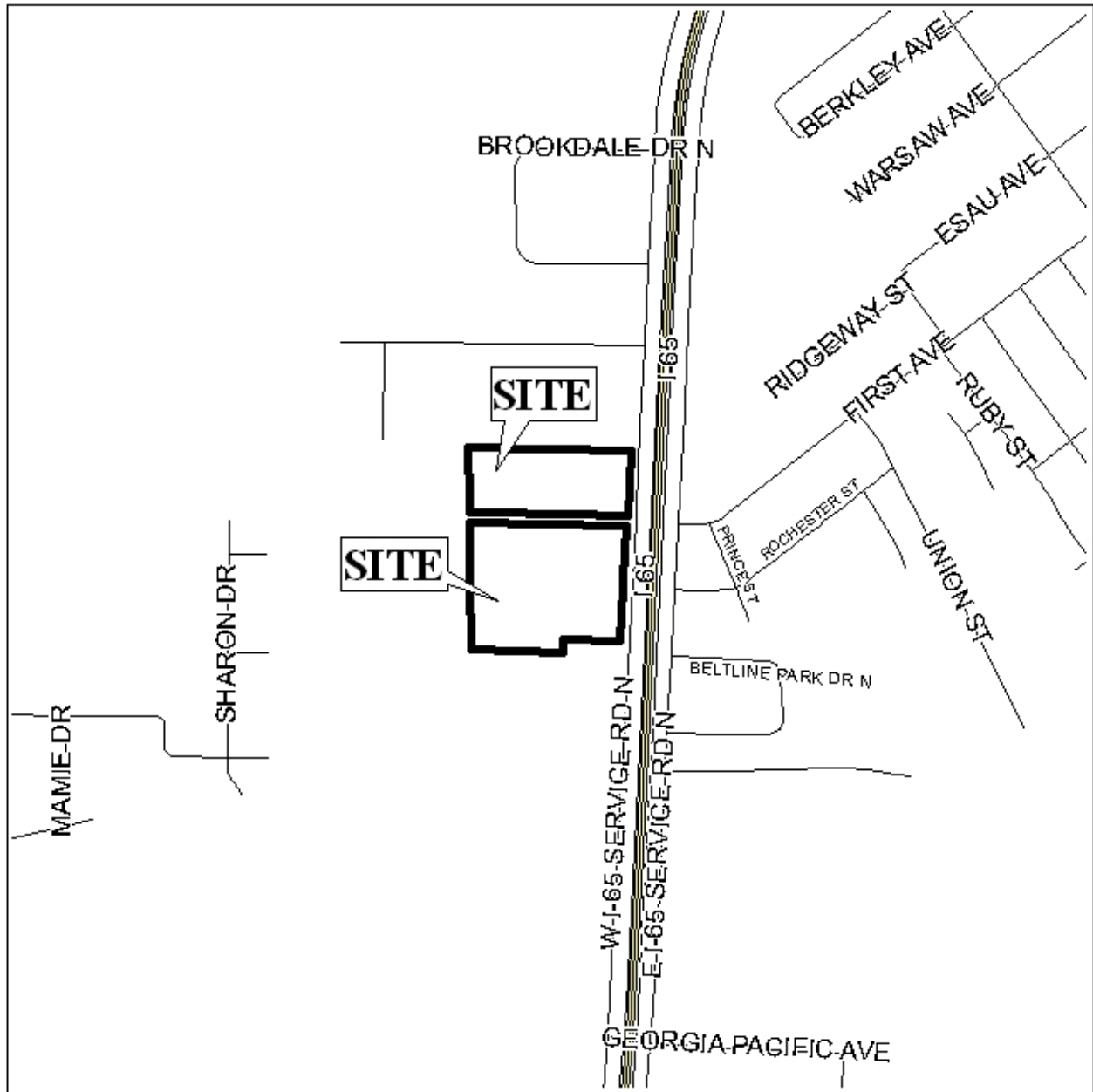
This Planned Unit Development was approved by the Planning Commission on April 3, 2008. Construction permits were issued on January 13, 2009, and construction is underway.

There have been no changes to conditions or to the regulations that would affect the approval as it stands now.

RECOMMENDATION

Based upon the preceding, this application is recommended for Approval.

LOCATOR MAP



APPLICATION NUMBER 10 DATE April 2, 2009

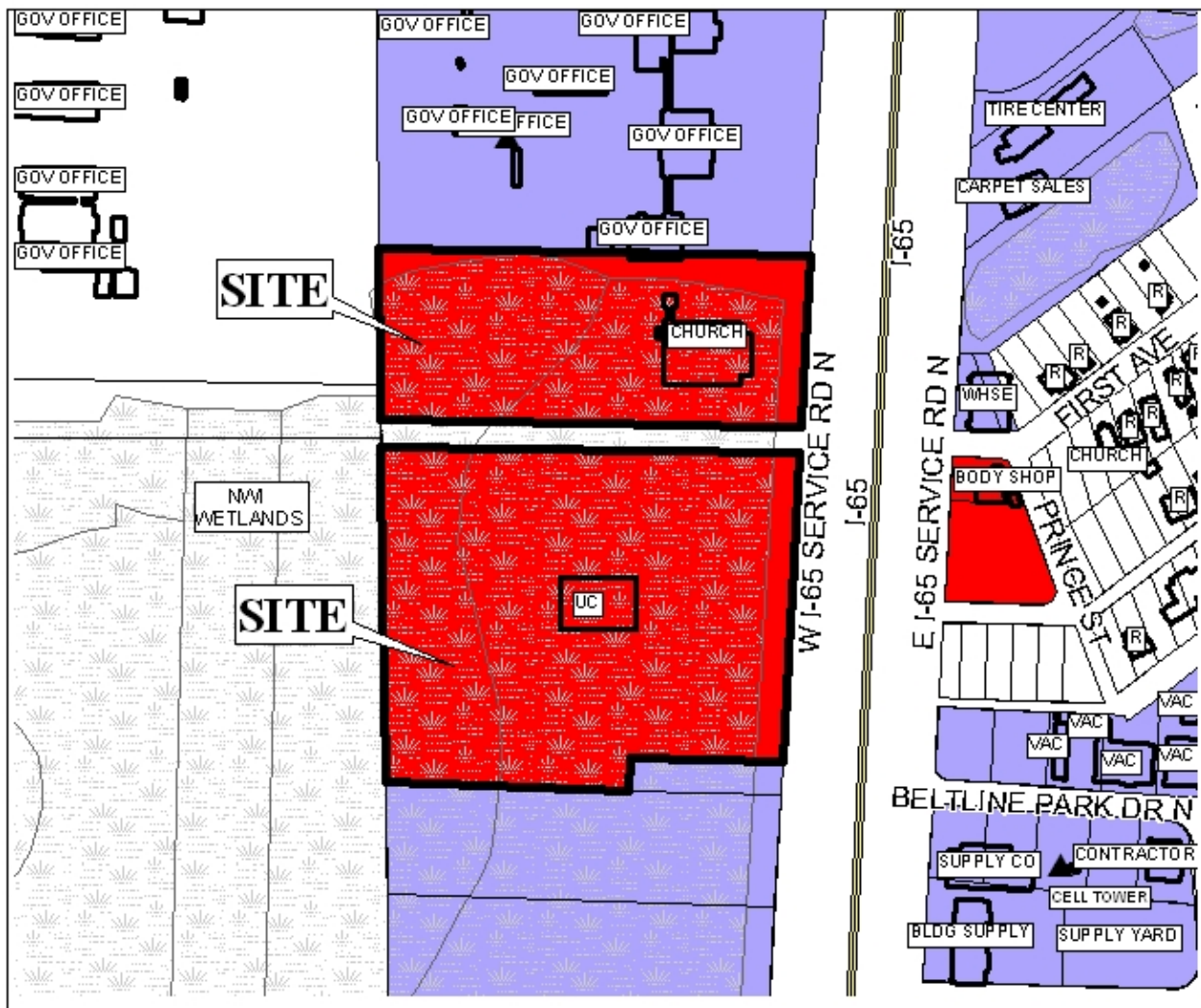
APPLICANT Nazaree Full Gospel Church

REQUEST Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Government offices are to the north and an auto body shop, warehouse, and single family residential units are to the east.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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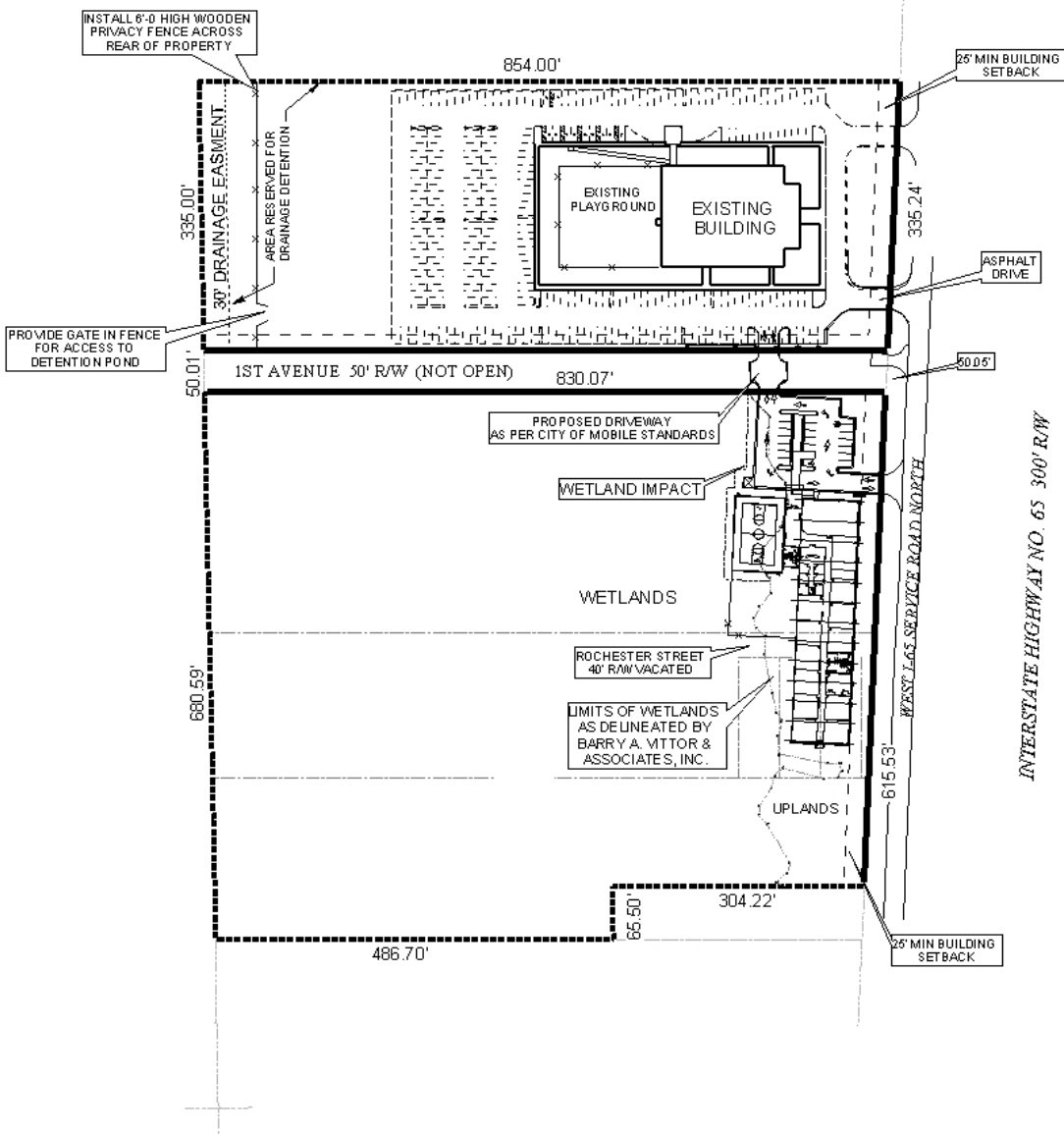
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SITE PLAN



The site plan illustrates the existing buildings, proposed buildings, wetlands, detention area, easements, and setbacks.

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