

**PLANNED UNIT DEVELOPMENT,  
PLANNING APPROVAL &  
SUBDIVISION STAFF REPORT****Date: September 4, 2014**

<b><u>NAME</u></b>	Emmanuel Subdivision
<b><u>SUBDIVISION NAME</u></b>	Emmanuel Subdivision
<b><u>LOCATION</u></b>	1962, 2000 and 2008 Dr. Martin Luther King, Jr. Avenue (Northeast and Southeast corners of Dr. Martin Luther King Jr. Avenue, extending to the West side of Vine Street)
<b><u>CITY COUNCIL DISTRICT</u></b>	District 2
<b><u>PRESENT ZONING</u></b>	R-1, Single-Family Residential District
<b><u>AREA OF PROPERTY</u></b>	3 lots / 3.3 ± acres (Subdivision) 2 lots / 2.94 ± acres (PUD and Planning Approval)
<b><u>CONTEMPLATED USE</u></b>	Planning Approval to allow the expansion of an existing church school in a R-1, Single-Family Residential District, Planned Unit Development approval to allow multiple buildings on a single building site and off-site parking, and Subdivision approval to create three legal lots.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Not specified.

**ENGINEERING****COMMENTS**

**Subdivision:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #70) each lot will receive historical credit of impervious area towards

stormwater detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.

- D. Recommend that a radius be dedicated to Public ROW on each side of Martin Ct., with the size and location to be determined by the City Engineer and Traffic Engineer.
- E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- F. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- G. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- H. Show and label each and every Right-Of-Way and easement.
- I. Provide and label the monument set or found at each subdivision corner.
- J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- K. Provide the Surveyor's Certificate and Signature.
- L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- M. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- N. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

**Planned Unit Development:**

- 1. Include LOT 3 (Parcel D) on the PUD Site Plan and show the proposed site components.
- 2. Show the existing asphalt limits on Martin Ct. to the north end of LOT 1.

**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-

045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. The proposed development must comply with all Engineering Department Policy Letters.

**Planning Approval:** No comments.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Lot 1 is denied access to Vine St and limited to a total of 5 curb cuts. Lot 2 and Lot 3 are each limited to one curb cut. For improved circulation on the site and increased parking area near the proposed modular buildings, the striping could be reconfigured with a one-way driving lane and angled parking on either side (adjacent to the buildings, and adjacent to the right-of-way). The five parallel spaces should be eliminated and a grassed area provided between the roadway of Martin Ct and the new parking spaces. There is an additional power pole that is not shown in the vicinity of the 42" live oak; ensure that the utility details are accurate if this will impact the site layout.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

The Fire Code Administration Staff are okay with approving the Group Application for 1962, 2000 and 2008 Dr. Martin Luther King Jr. Avenue in respect to the Planning Commission. However, there will be water supply and fire hydrant installation requirements associated with each application due to zero hydrants on that side of the road. All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

## **REMARKS**

The applicant is requesting Planning Approval to allow the expansion of an existing church school in a R-1, Single-Family Residential District, Planned Unit Development approval to allow multiple buildings on a single building site and off-site parking, and Subdivision approval to create three legal lots.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate

access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

**Planning Approval and PUD approval are site plan specific, thus the plan must be accurate at time of submittal, and any changes to the site plan must be approved by the Planning Commission.**

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site has frontage along Dr. Martin Luther King, Jr. Avenue, Martin Court, and Vine Street, all minor streets with sufficient right-of-way width per GIS data and, as such, no dedication is required. It appears there is no minimum right-of-way depicted for Dr. Martin Luther King, Jr. Avenue and, as such, a revised site plan and Final Plat should illustrate the minimum right-of-way, as measured directly adjacent to this site.

In regards to the Planning Approval request, the site is currently developed with an existing church and 5 700 sf. modular buildings used as classrooms. The applicant proposes to expand the school with 3 new 1,935 sf. modular buildings; however, no information was provided specifying whether these buildings would be temporary or permanent. Given that the school and church are existing uses, the proposed expansion of the school would seem to be a continuation of the existing uses; however, the following information should be provided for Staff for review:

- 1) The number of existing classrooms and teaching stations;
- 2) The number of proposed classrooms and teaching stations;
- 3) The number of existing and proposed students;
- 4) The grade levels the school will encompass;
- 5) The hours of operation of the school; and
- 6) A traffic circulation plan.

Further, as proposed, parking and access management would be of concern as the new buildings would eliminate some of the existing parking spaces and travel aisles; however, the applicant has proposed a 33-stall, off-site parking lot directly across Martin Court, on a separate lot.

In accordance with the Subdivision Regulations, the maximum depth of the proposed Lots 1 and 3 is more than 3.5 times the width at the minimum building setback line and, as such, a waiver of Section V.D.3. will be required for approval. Further, as the proposed Lot 1 would be considered a Double-Frontage Lot, a waiver of Section V.D.8. will also be required for approval. All three proposed lots exceed the minimum size requirements and the lot size in square feet and acres is depicted on the site plan and preliminary plat. It should be pointed out that a 25' minimum building setback line should be depicted along Vine Street on a revised site plan and Final Plat and all other setbacks should be retained, if approved.

Access and maneuvering are a concern of both Staff and residents within the immediate vicinity of the site. Martin Court, specifically, is an existing substandard street with a 30' right-of-way and roadway width of what appears to be less than 15' in some areas, well short of the 26' width required in Section V.B.15. of the Subdivision Regulations. Aside from worship-related activities, residents have stated that ingress/egress along Martin Court is also hindered due to traffic associated with the onsite school. The applicant now proposes to expand the school with the previously mentioned 3 additional modular buildings, which may subsequently increase traffic along the already strained Martin Court. Residents desire the street be improved to City standards; however, the applicant has stated that dedication would be impractical, per City Officials who have visited the site and have assessed the existing conditions.

The proposed Lot 1 has 2 existing curb-cuts to Dr. Martin Luther King, Jr. Avenue; 4 existing curb-cuts to Martin Court, one of which appears to be 250'± wide; and 1 existing curb-cut along Vine Street - however, Staff recommends this curb-cut be closed and access denied to this street. The site also has 1 existing curb-cut to Dr. Martin Luther King, Jr. Avenue for the proposed Lot 3 and applicant also proposes 1 new curb-cut for the proposed Lot 2 onto Martin Court. As a means of access management, notes should be placed on the revised site plan and plat stating that the existing curb-cut along Vine Street be closed and the proposed Lot 1 be denied access to this street and limited to a total of 5 curb-cuts. The proposed Lot 3 should be limited to the existing curb-cut and the proposed Lot 2 should be limited to the proposed curb-cut to Martin Court, with the size, design, and location of the new curb-cut, along with any changes to the existing curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards. Staff recommends the applicant coordinate with Staff to revise the site layout as necessary to maximize onsite traffic flow, parking and ingress/egress along Martin Court.

It should be pointed out that the planned parking spaces on the proposed Lot 2 appear compliant in regards to stall and aisle dimensions; however, neither bumper stops nor curbing is illustrated on the site plan. The site currently has a total of 90 existing parking spaces; however, the applicant proposes to eliminate 39 spaces to be replaced with 33 new off-site spaces on an adjacent lot, which would give the site a total of only 84 spaces. As the primary use of this site is a religious institution, required parking is calculated at a ratio of 1 space per 4 seats and, as the site plan notes 400 seats within the sanctuary, 100 parking spaces would be required. As only 84 parking spaces are currently proposed, the applicant should revise the site layout to depict a compliant number of parking spaces in accordance with Section 64-6. of the Zoning Ordinance.

It is important to note that as the applicant proposes more than 25 new parking spaces, photometric plans will be required at the time of permitting. Any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan.

The site plan illustrates 5 parallel parking spaces within the existing right-of-way, which should be eliminated. Compliance with Traffic Engineering comments should also be depicted on the revised site plan.

In reference to tree and landscaping compliance, the proposed landscaping on the proposed Lot 2 is compliant in regards to trees and landscaping; however, the proposed 3' high hedge row should also be extended and illustrated along the frontage of Martin Court on the revised site plan. Landscaping data is also listed on the site plan for the proposed Lot 1; however, full compliance with the tree and landscaping requirements of the Zoning Ordinance will not be required until the time of development if the total gross floor area of the site is increased and/or decreased by at least 50% of the existing buildings' footprint.

The site plan also depicts a 6' high wooden privacy fence on the proposed Lot 2 to be used as a residential buffer, as the site is adjacent to R-1, Single-family Residential; however, the site plan should be revised to depict all proposed fencing not to exceed 3' in height within the 25' minimum building setbacks of Martin Court and Dr. Martin Luther King, Jr. Avenue.

The site plan illustrates an existing dumpster pad within the existing parking lot on the proposed Lot 1 and, as mentioned earlier in this report, Staff recommends revision of the site layout which may cause the relocation of the dumpster facilities. In the event the dumpster is relocated, the site plan would be revised to illustrate any proposed dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance. If the site layout can be revised to accommodate the existing dumpster, full compliance with Section 64-4.D.9. would not be required at this time; however, the applicant should still keep in mind the recently adopted Litter Ordinance which requires all existing dumpsters to be enclosed, per the standards of said Ordinance.

Through the use of aerial imagery, it appears that a dwelling unit on the proposed Lot 3 was removed within the past 4 years. It should be pointed out that demolition permit was not obtained and therefore, an after the fact demolition permit should be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

### **RECOMMENDATION**

**Subdivision:** Recommended that this applicant be heldover to the meeting of October 2<sup>nd</sup>, with revisions due by September 18<sup>th</sup>, to allow the applicant to address the following:

- 1) Obtainment of an after the fact demolition permit for the structure removed from Lot 3;
- 2) Depiction of the 25' minimum building setback line on the plat along Vine Street; and
- 3) Illustration of the minimum right-of-way for Dr. Martin Luther King, Jr. Avenue, as measured directly adjacent to the site.

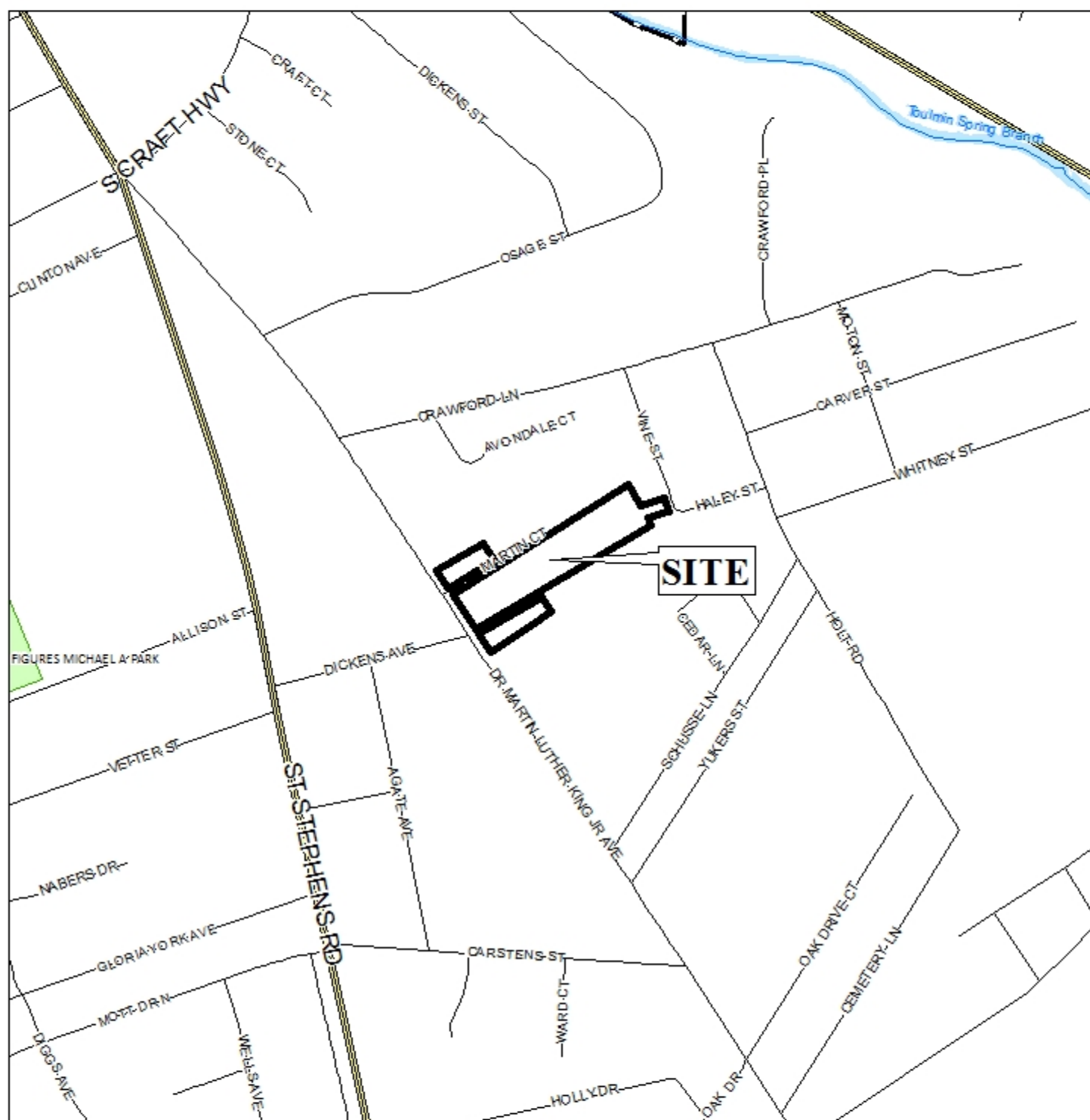
**Planned Unit Development:** Recommended that this applicant be heldover to the meeting of October 2<sup>nd</sup>, with revisions due by September 18<sup>th</sup>, to allow the applicant to address the following:

- 1) Submission of additional information to include the number of existing and proposed classrooms, teaching stations, students and associated grade levels, the hours of operation of the school and traffic circulation plan;
- 2) Coordination with Staff to revise the site layout as necessary to maximize onsite traffic flow and ingress/egress along Martin Court;
- 3) Revision of the site layout to illustrate a compliant number of parking spaces in accordance with Section 64-6. of the Zoning Ordinance;
- 4) Revision of the site layout to reflect compliance with Traffic Engineering comments;
- 5) Illustration of bumper stops or curbing for all new parking spaces;
- 6) Depiction of the 25' minimum building setback line on the site plan along Vine Street;
- 7) Illustration of a 3' high hedge row along Martin Court on the proposed Lot 2;
- 8) Placement of a note on the site plan stating that proposed privacy fencing is not to exceed 3' in height within the 25' minimum building setbacks of Martin Court and Dr. Martin Luther King, Jr. Avenue; and
- 9) Submission of information verifying whether the proposed modular buildings are anticipated to be temporary or permanent.

**Planning Approval:** Recommended that this applicant be heldover to the meeting of October 2<sup>nd</sup>, with revisions due by September 18<sup>th</sup>, to allow the applicant to address the following:

- 1) Submission of additional information to include the number of existing and proposed classrooms, teaching stations, students and associated grade levels, the hours of operation of the school and traffic circulation plan;
- 2) Coordination with Staff to revise the site layout as necessary to maximize onsite traffic flow and ingress/egress along Martin Court;
- 3) Revision of the site layout to illustrate a compliant number of parking spaces in accordance with Section 64-6. of the Zoning Ordinance;
- 4) Revision of the site layout to reflect compliance with Traffic Engineering comments;
- 5) Illustration of bumper stops or curbing for all new parking spaces;
- 6) Depiction of the 25' minimum building setback line on the site plan along Vine Street;
- 7) Illustration of a 3' high hedge row along Martin Court on the proposed Lot 2;
- 8) Placement of a note on the site plan stating that proposed privacy fencing is not to exceed 3' in height within the 25' minimum building setbacks of Martin Court and Dr. Martin Luther King, Jr. Avenue; and
- 9) Submission of information verifying whether the proposed modular buildings are anticipated to be temporary or permanent.

# LOCATOR MAP



APPLICATION NUMBER 10 DATE September 4, 2014  
 APPLICANT Emmanuel Subdivision  
 REQUEST Subdivision, Planned Unit Development, Planning Approval





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

APPLICATION NUMBER 10 DATE September 4, 2014

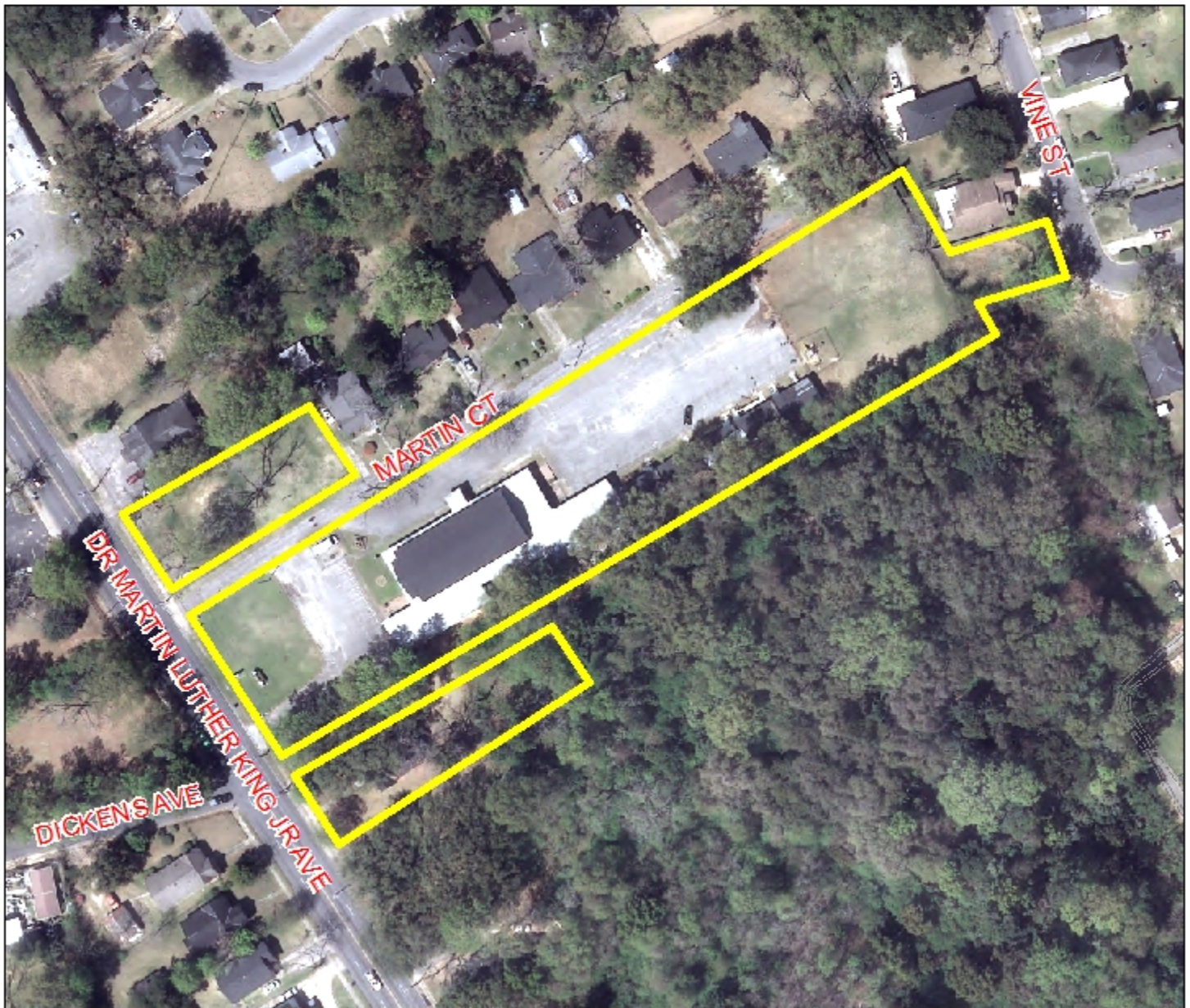
APPLICANT Emmanuel Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

APPLICATION NUMBER 10 DATE September 4, 2014

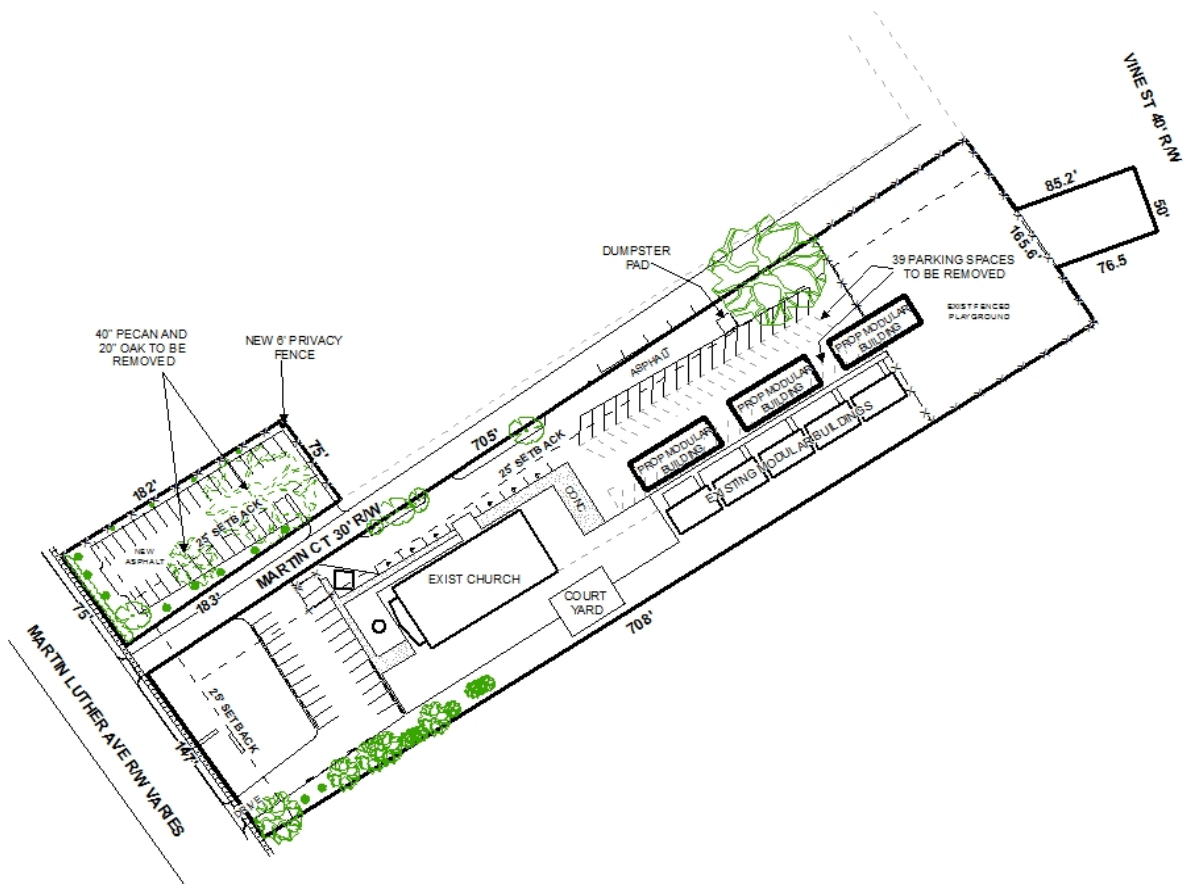
APPLICANT Emmanuel Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval





# SITE PLAN



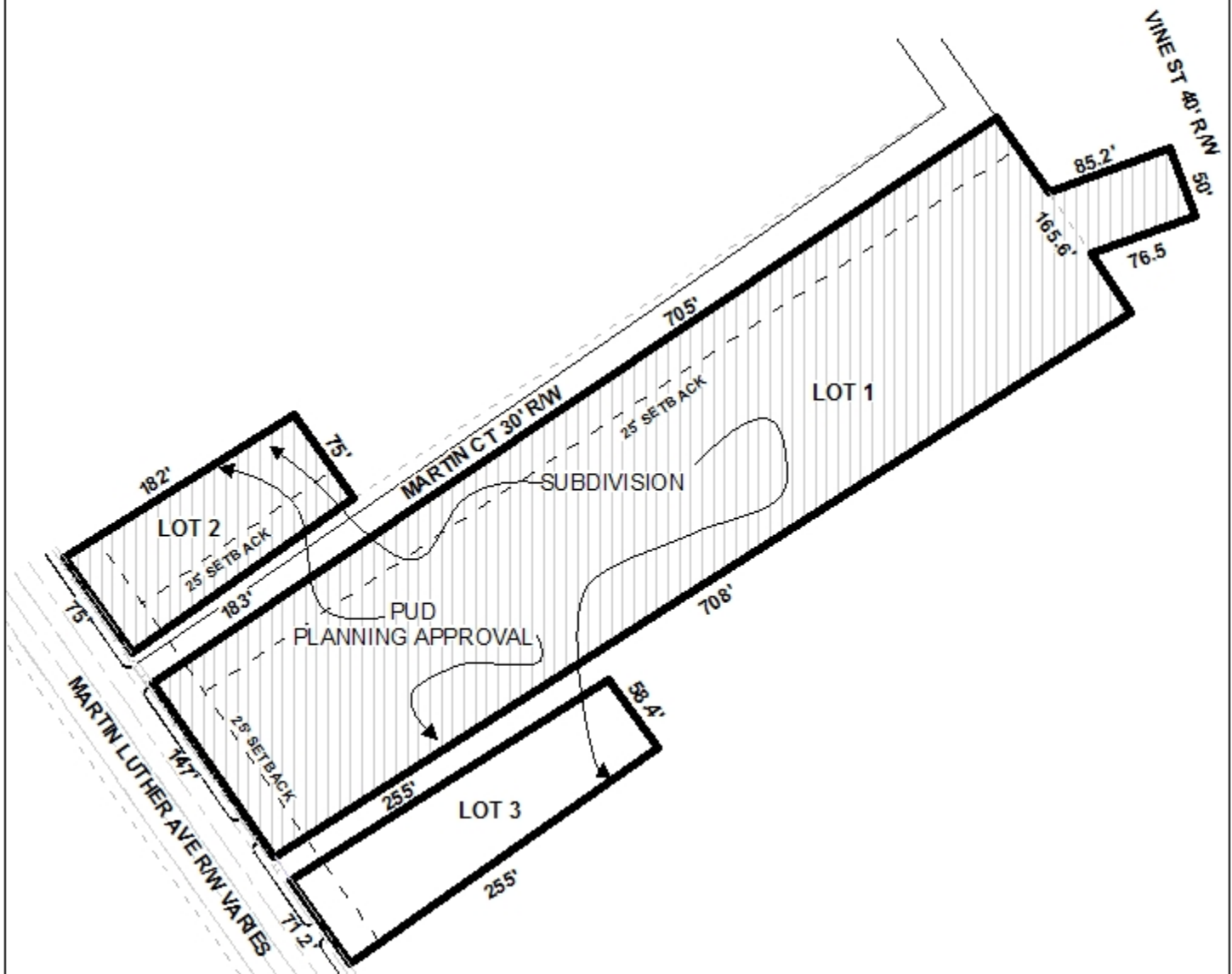
The site illustrates the existing modular buildings and church, proposed modular buildings, parking, and setbacks.

APPLICATION NUMBER 10 DATE July 3, 2014  
 APPLICANT Emmanuel Subdivision  
 REQUEST Subdivision, Planned Unit Development, Planning Approval



NTS

# DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE September 4, 2014  
APPLICANT Emmanuel Subdivision  
REQUEST Subdivision, Planned Unit Development, Planning Approval

