

DOWNTOWN WEST SUBDIVISION, UNIT SIX,
RESUBDIVISION OF LOTS 34, 35, 36 & 37,
RESUBDIVISION OF LOTS 1 & 2,
RESUBDIVISION OF LOT 1

Engineering Comments: Any proposed dumpster pad must have connection to sanitary sewer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 2 lot, 1.3 acre \pm subdivision which is located at 4344 Downtowner Loop South (North side of Downtowner Loop South, 340' \pm East of Downtowner Loop West), and is in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide a legal lot of record that was originally approved by the Planning Commission on April 17, 2008, into 2 legal lots of record. It should be noted that the proposed Lot 1A is currently developed. This subdivision, if approved, will not impact the existing development.

The proposed lots meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is indicated on the plat and should be retained on the final plat, if approved. The proposed lots also have adequate frontage along a public right-of-way.

This application proposes to essentially undo the subdivision approved by the Planning Commission in 2008, and revert back to the condition that the lot was in before, namely, being two lots. That two lot subdivision, itself, was originally approved by the Planning Commission on June 3, 1999.

Both lots front Downtowner Loop South, a minor street with adequate right-of-way. As such, no dedication should be required. As previously mentioned, the proposed Lot 1A is currently developed, and, as such, should be limited to the one existing curb cut. The proposed Lot 2A

should be limited to one curb cut, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards.

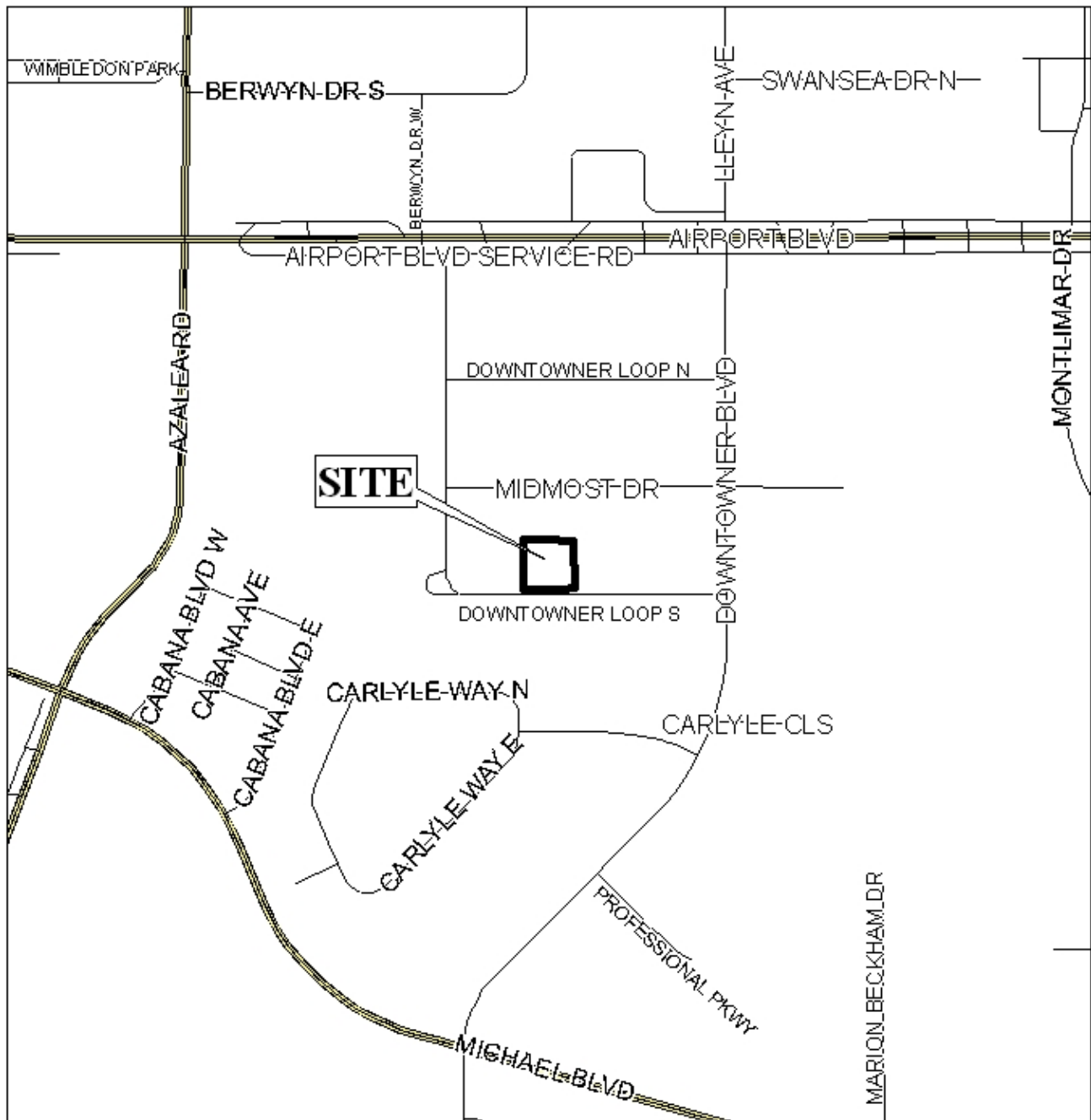
The plat illustrates a 50-foot minimum building setback line, and at least a 25-foot minimum building setback line should be retained on the final plat, if approved.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Retention of the labeling of the size of the lot, in square feet, or provision of a table on the plat with the same information;
- 2) Depiction of at least a 25-foot minimum building setback line along all public rights-of-way;
- 3) Placement of a note on the final plat limiting Lot 1A to the one existing curb cut and limiting Lot 2A to one curb cut with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards;
- 4) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 5) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



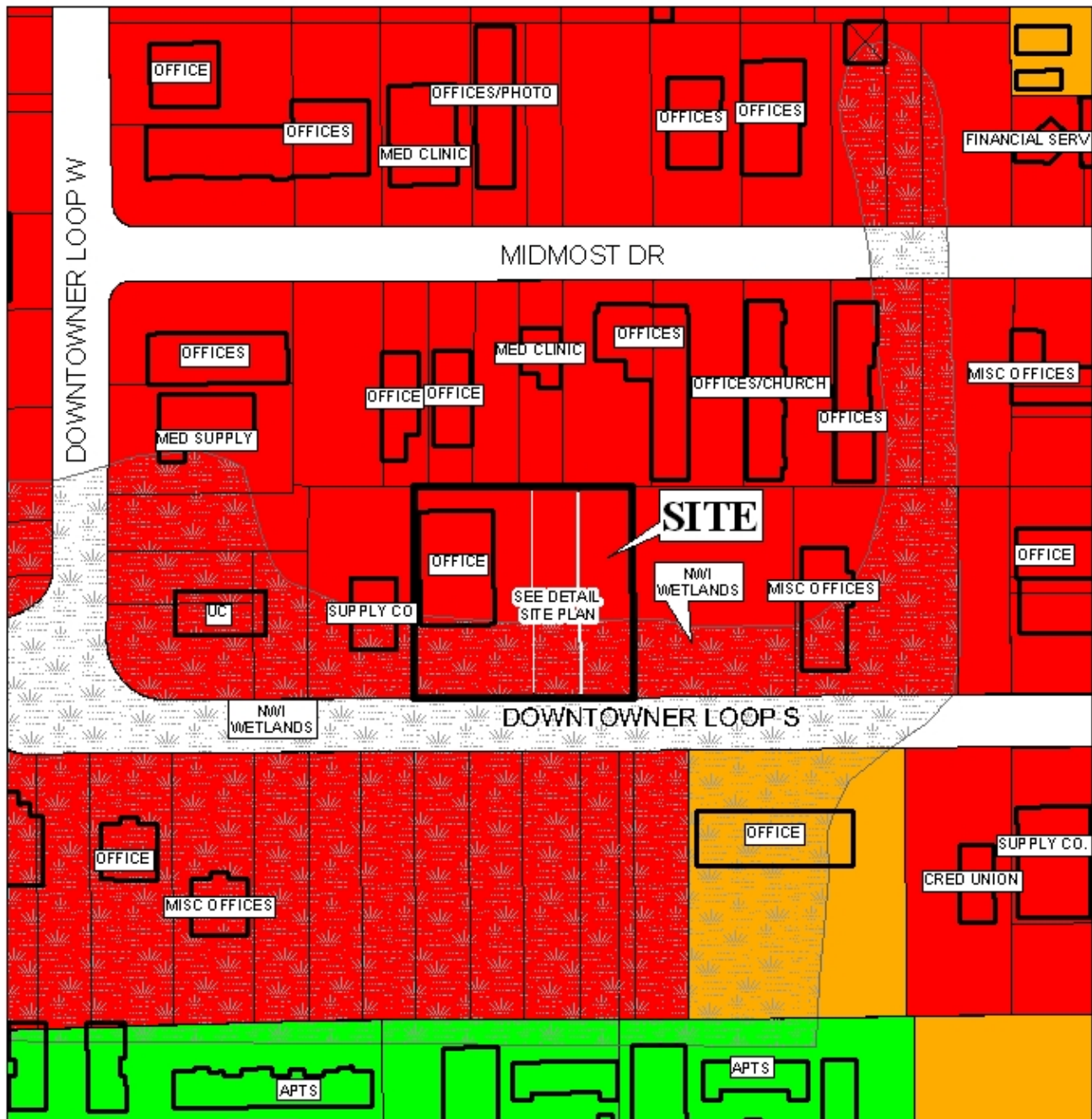
APPLICATION NUMBER 10 DATE June 18, 2009

APPLICANT Downtown West Subdivision, Unit Six, Resubdivision of Lots 34, 35, 36 & 37, Resubdivision of Lots 1 & 2, Resubdivision of Lot 1

REQUEST Subdivision


















**DOWNTOWN WEST UNIT SIX RESUBDIVISION OF LOTS 34, 35, 36, & 37
RESUBDIVISION OF LOTS 1 & 2 RESUBDIVISION OF LOT 1**



APPLICATION NUMBER 10 DATE June 18, 2009

LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



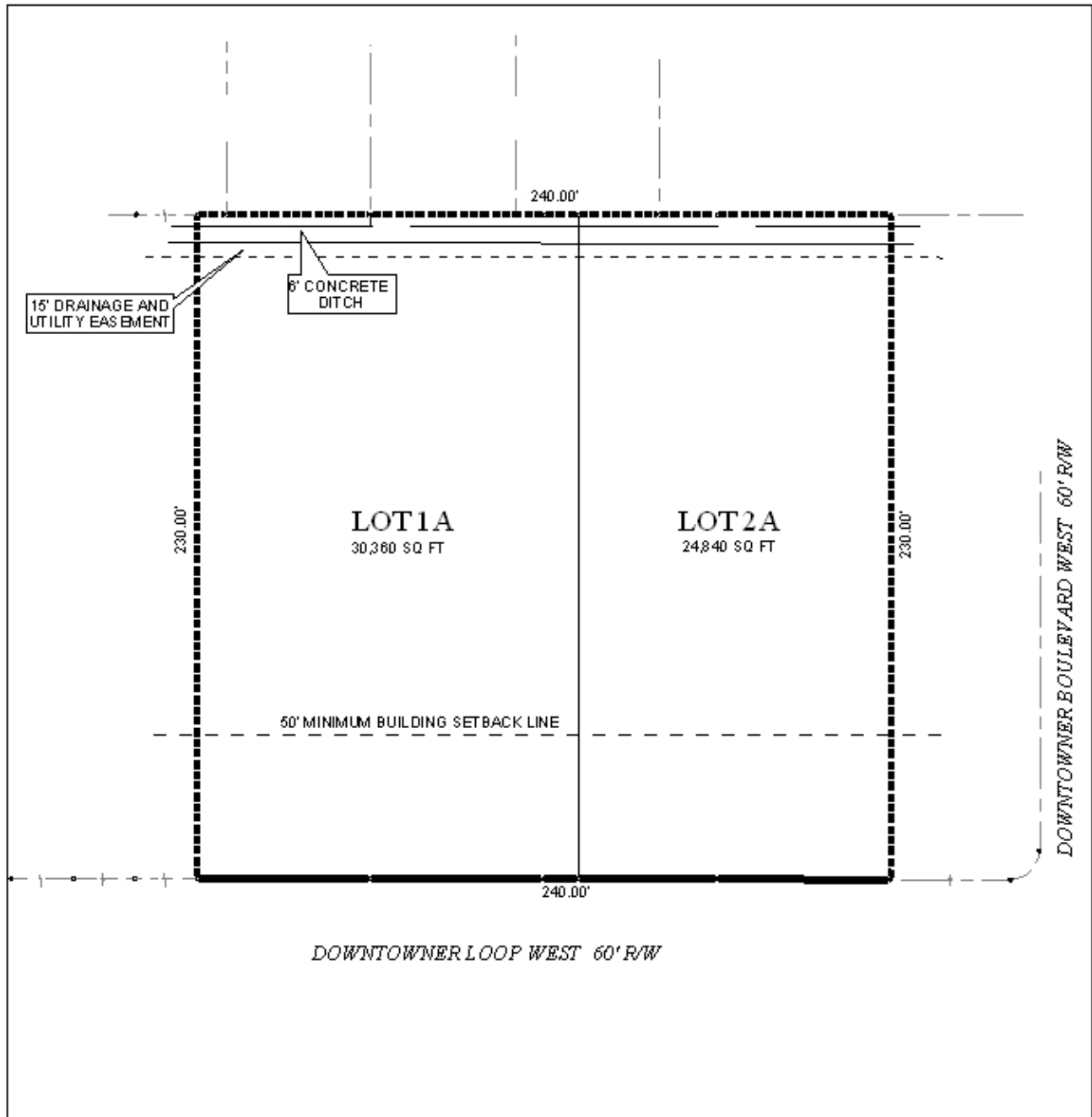
**DOWNTOWN WEST UNIT SIX RESUBDIVISION OF LOTS 34, 35, 36, & 37
RESUBDIVISION OF LOTS 1 & 2 RESUBDIVISION OF LOT 1**



APPLICATION NUMBER 10 DATE June 18, 2009



DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE June 18, 2009

APPLICANT Downtown West Subdivision, Unit Six, Resubdivision of
Lots 34, 35, 36 & 37, Resubdivision of Lots 1 & 2, Resubdivision of Lot 1

REQUEST Subdivision

N



NTS