

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: July 7, 2016****NAME**

Center Point Terminals, LLC

LOCATION1301 Cochrane Causeway
(West side of Cochrane Causeway, 2.0 miles± North of
Bankhead Tunnel).**PRESENT ZONING**

I-2, Heavy Industry District

ENGINEERING**COMMENTS**

Although it appears that the current site conditions may allow for sidewalk construction within the ROW this area is heavily industrial, is located within ALDOT right-of-way, and runs parallel to an existing, wide drainage ditch that is tidally influenced and frequently inundated.

Therefore it is recommended that this request be approved.

TRAFFIC ENGINEERING**COMMENTS**

No comments.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Cochrane Causeway.

The subject site is developed as a petroleum storage tank facility and the applicant has recently applied for a land disturbance permit to construct two more storage tanks. The applicant states that the construction of a sidewalk would be impractical due to the proximity of the ditch and shoulder that runs along the West side of the Cochrane Causeway.

It should be noted that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians.

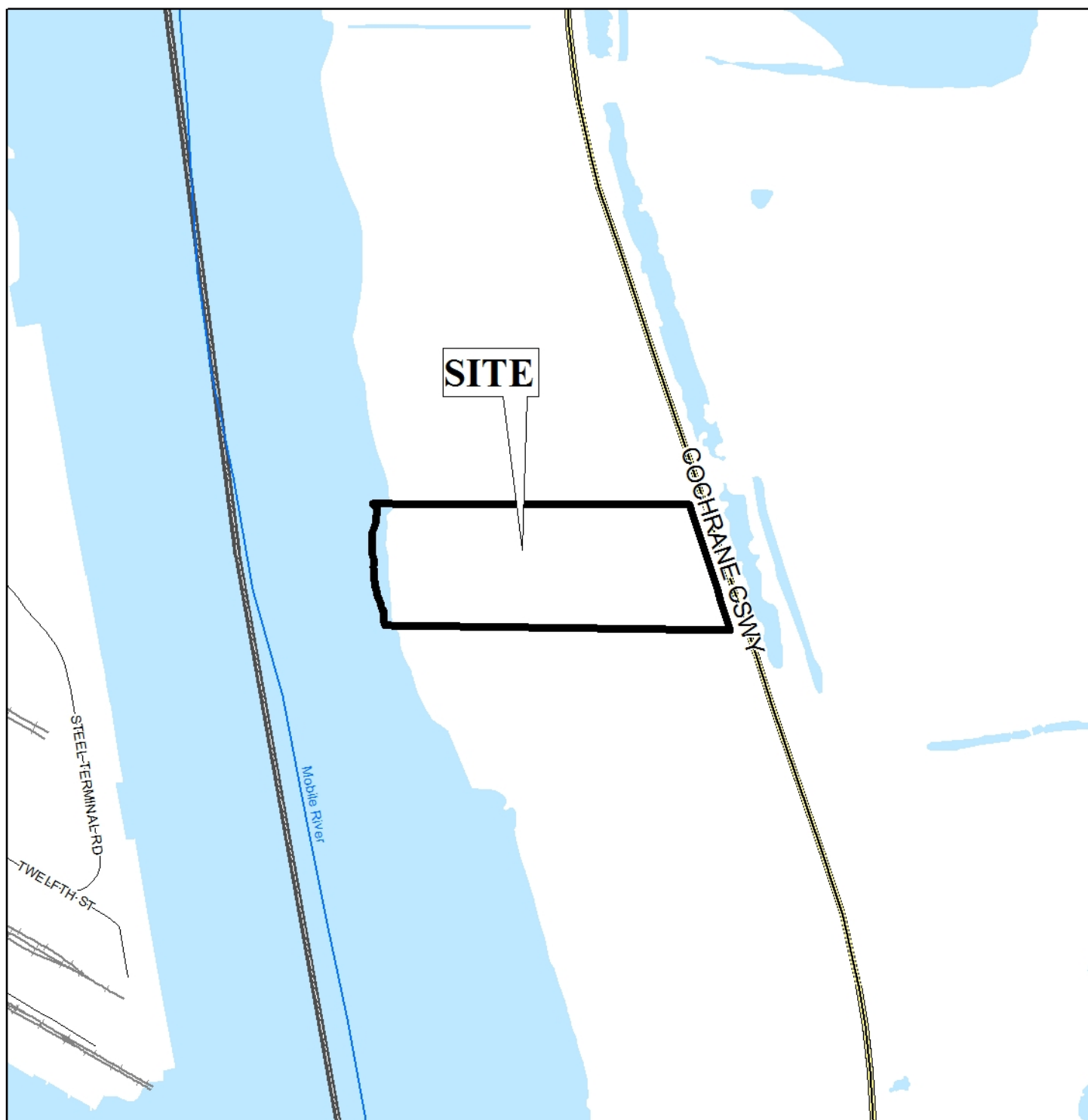
The site is surrounded by other I-2, Heavy Industry Districts. To the North and South are other petroleum storage tank facilities, to the East is an industrial effluent containment area, and to the West is the Mobile River.

Because the area is industrially developed, it would appear that pedestrian traffic in the vicinity is minimal and would not likely increase due to the inherent conditions of such development. Also, because Cochrane Causeway is lined with open ditches, the topography at the shoulder of the road does not lend itself to a sidewalk, and all other Sidewalk Waivers requested along Cochrane Causeway have been approved by the Commission. Given such conditions, a waiver of the construction of the sidewalk along Cochrane Causeway would seem appropriate.

RECOMMENDATION

Based upon the preceding, this application for waiver of the sidewalk along Cochrane Causeway is recommended for approval.

LOCATOR MAP



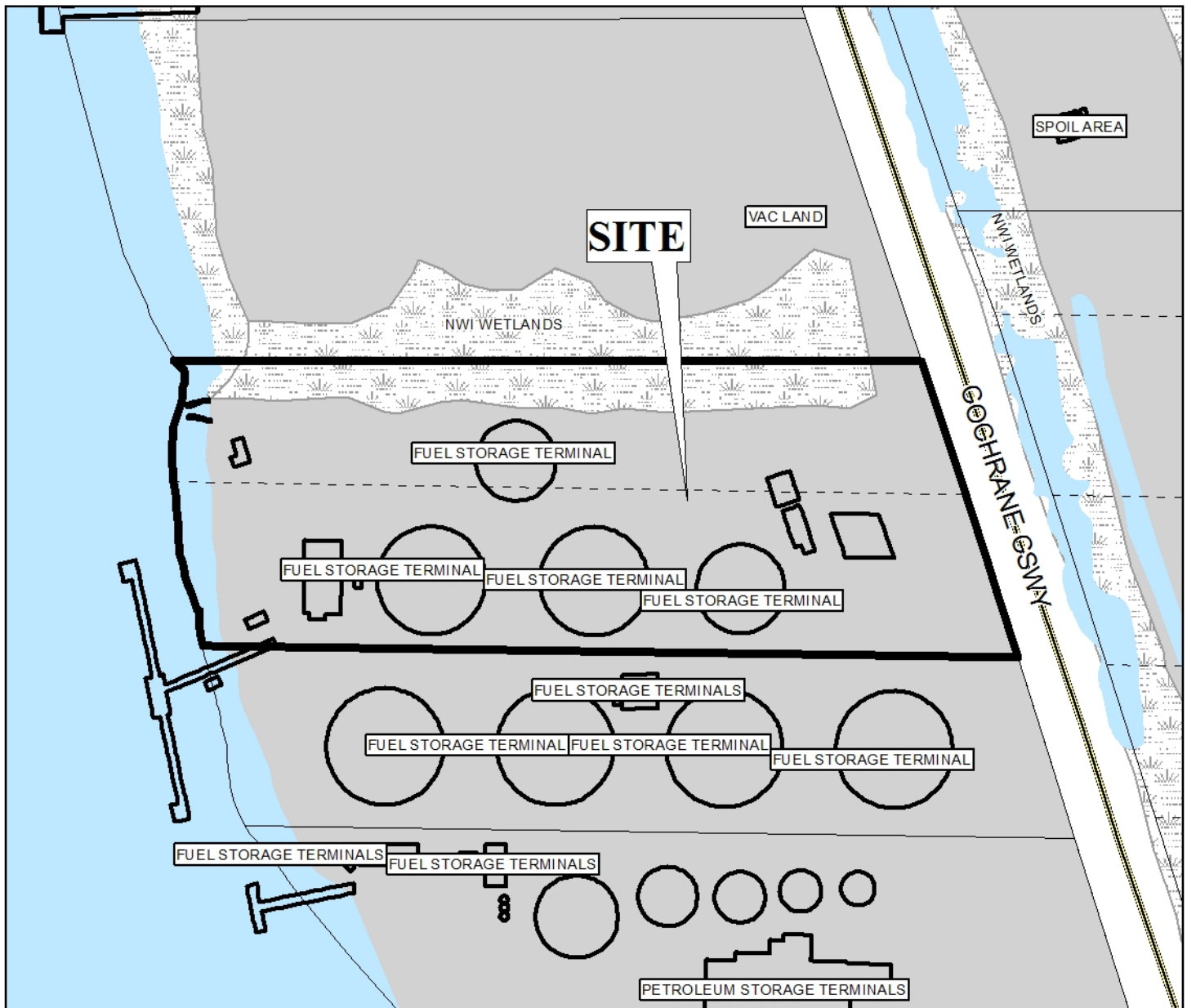
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

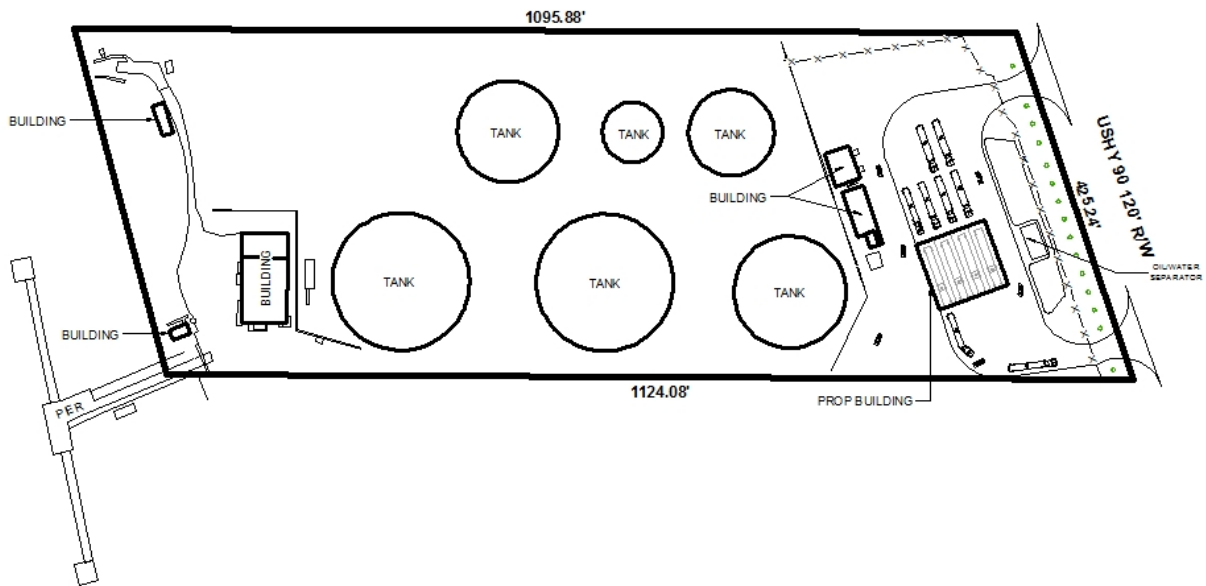


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SITE PLAN



The site plan illustrates the existing buildings, existing tanks, and proposed building.

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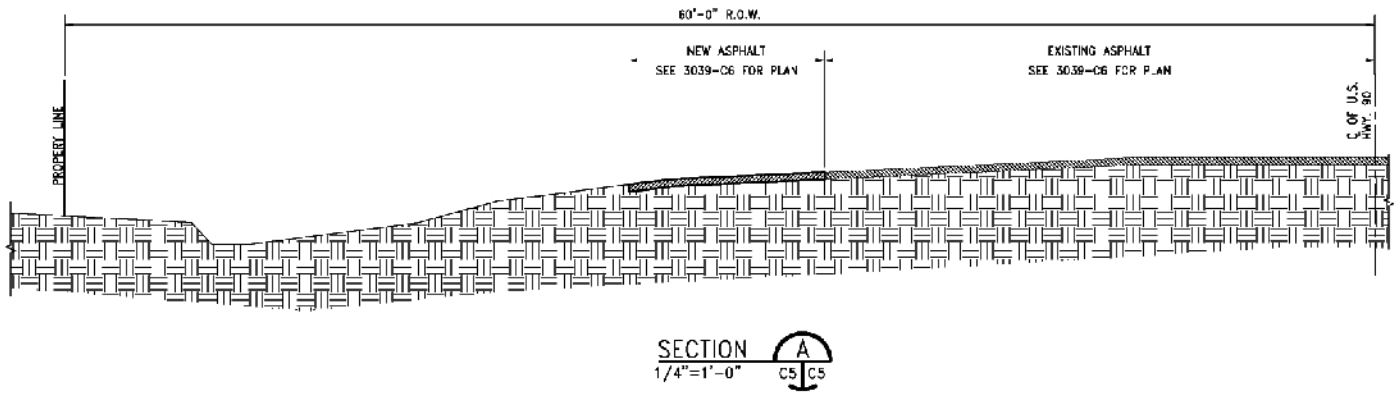
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DETAIL SITE PLAN



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