

## **BCMF SUBDIVISION**

Engineering Comments: Site is located in AE Flood Zone; development must meet all FEMA requirements. Fill is not allowed without providing compensation (net fill of zero) or completing a flood study. Label Minimum FFE on Lot 1 of plat. Plat needs to include a minimum 25' radius for the property line at the intersection of Conti St & St Emanuel St. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 1-lot, 0.1 acre  $\pm$  subdivision which is located at 57 St. Emanuel Street (Southeast corner of St. Emanuel Street and Conti Street), and is in Council District 2. The applicant states that the availability of public water and sanitary sewer is "not applicable" to the application.

The purpose of this application is to combine two parcels into one legal lot of record.

The site has frontage on Conti Street, a minor street with curb and gutter and a 44' of right-of-way per GIS data, and St. Emanuel Street, a minor street with curb and gutter and a 36' of right-of-way per the plat. Dedication has not apparently been required for other recent subdivisions along Conti or St. Emanuel Streets, even when the right-of-way is as substandard as at this site. As the site is in the downtown area, and as there are other existing buildings on both streets built to the right-of-way edge, the Planning Commission may wish to consider waiving Section V.B.14. of the Subdivision Regulations. It should be pointed out that the plat shows a 6' strip along Conti Street "dedicated by the city for public use," thus providing 24.8' from the centerline of Conti Street. Staff can not find the document in Probate, and requests a copy prior to signing the plat: it may be that land was dedicated to the city rather than by the city. The plat should be revised to label the right-of-way widths for both streets. It should be noted that Engineering requires the dedication of a 25' radius at the corner.

As a means of access management, a note should be placed on the final plat stating that the lot is limited to the only existing curb-cut along St. Emanuel Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that this site is located within the Lower Dauphin Historic District; thus, improvements to the site may need approval by the Mobile Historic Development Commission and the Architectural Review Board.

The lot is not labeled on the plat with its size in square feet, and should be so-labeled on the final plat, but a table is provided furnishing the same information and should be retained, if approved. Lot size should reflect dedication.

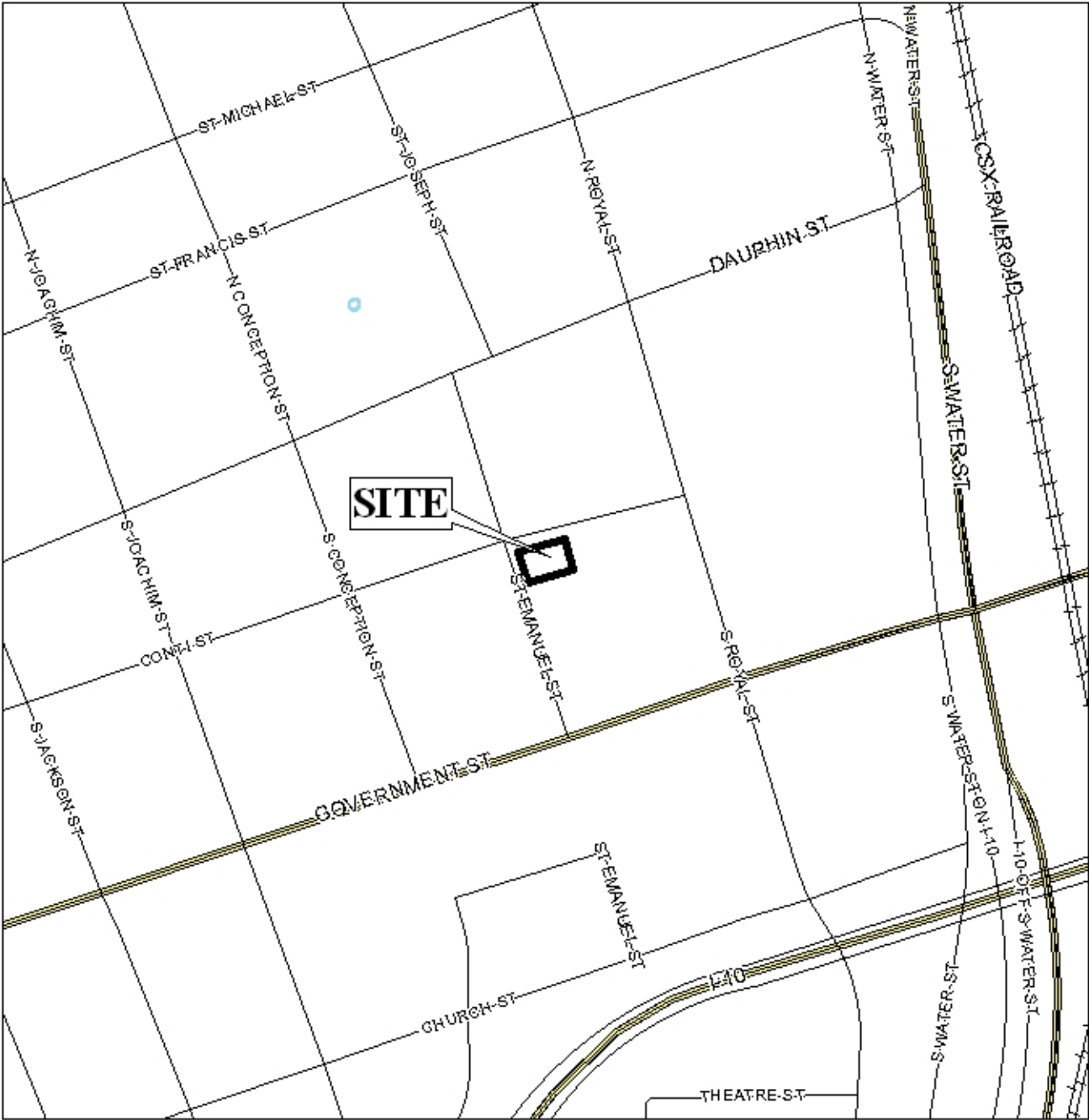
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

As noted by Engineering, the site is located in an AE flood zone, per FEMA maps.

With a waiver of Section V.B.14., the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to the only existing curb-cut along St. Emanuel Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) improvements to the site subject to MHDC/ARB approval;
- 3) labeling of the minimum and maximum right-of-way widths for each street;
- 4) submission of the deed information regarding dedication along Conti Street prior to signing plat, and correction of label if necessary;
- 5) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) dedication of a 25' radius at the intersection of Conti Street and St. Emanuel;
- 7) compliance with Engineering comments: *Site is located in AE Flood Zone; development must meet all FEMA requirements. Fill is not allowed without providing compensation (net fill of zero) or completing a flood study. Label Minimum FFE on Lot 1 of plat. Plat needs to include a minimum 25' radius for the property line at the intersection of Conti St & St Emanuel St. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit; and*
- 8) full compliance with all municipal codes and ordinances.

<b>LOCATOR</b>
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APPLICATION NUMBER 10 DATE January 7, 2010

APPLICANT BCMF Subdivision

REQUEST \_\_\_\_\_ Subdivision \_\_\_\_\_



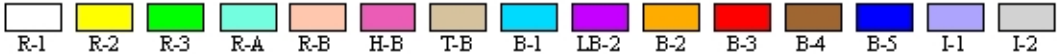
NTS

# BCMF SUBDIVISION



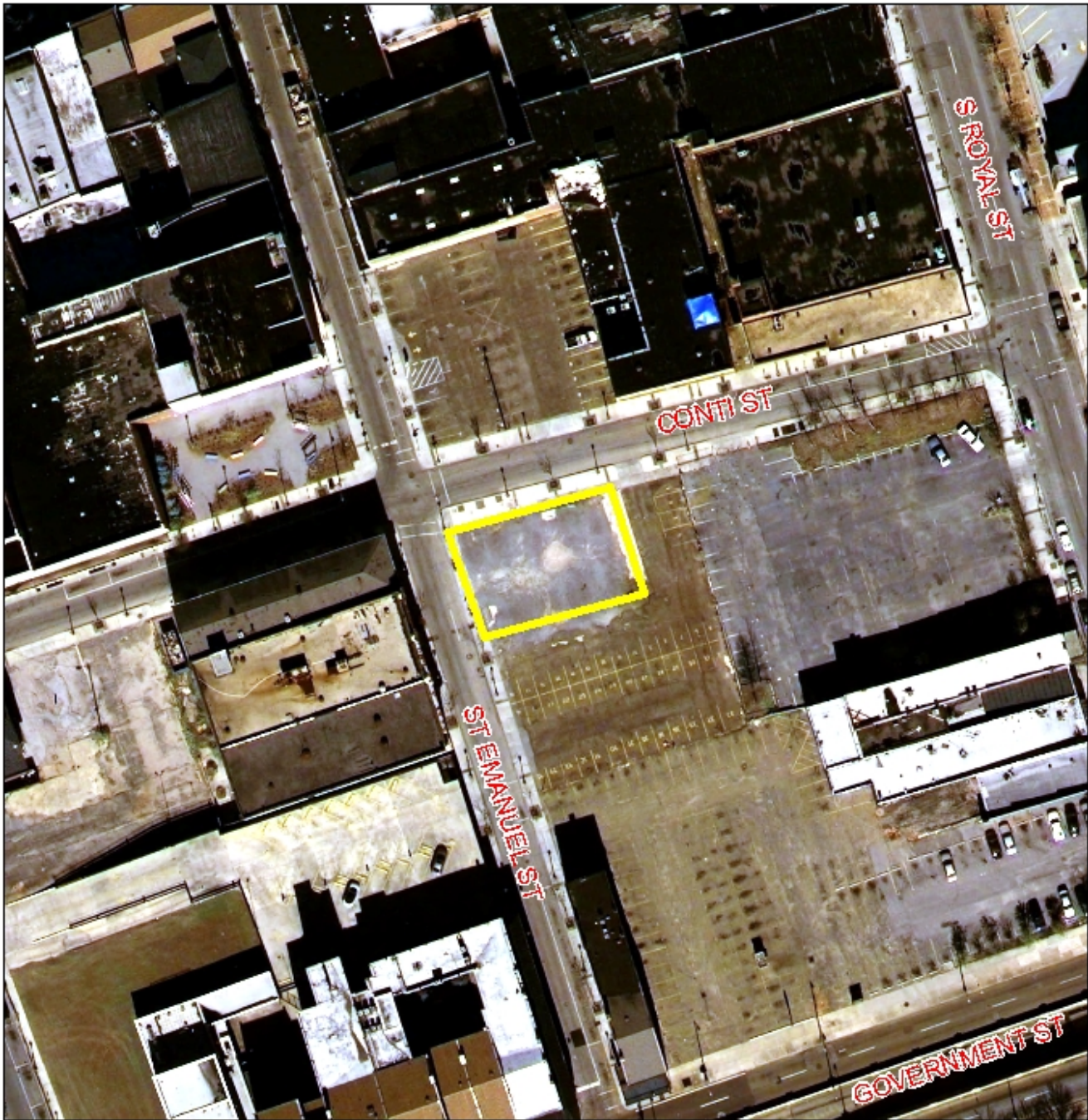
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LEGEND





## BCMF SUBDIVISION



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