

BALLARD ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits

Fire-Rescue Department Comments: No comments.

MAWSS Comments: No comments.

The plat illustrates the proposed 3 lot, 4.6 ± acres subdivision located at the Southwest corner of Hardeman Road and Southridge Drive, an extension of Broughton Road, in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to subdivide an existing metes-and-bounds parcel into three lots of record. All proposed lots would meet the minimum area requirements.

The site fronts on Southridge Drive with a compliant 70 right-of-way, and on Hardeman Road a component of the Major Street Plan. The current right-of-way width is 50' along Hardeman Road, and the Major Street Plan indicates a 100' planned right-of-way. In cases of small subdivisions, dedication is generally not required, but an increased minimum building setback line as measured from the planned future right-of-way line would be appropriate along Hardeman Road. The building setback line along Southridge Drive should be illustrated on the final plat as on the preliminary. As a means of access management, a note should be required on the final plat stating that Lot 1 is limited to one curb cut to Southridge Drive and one curb cut to Hardeman Road, Lot 2 is limited to one curb cut to Hardeman Road, and Lot 3 is limited to two curb cuts to Hardeman Road, with the size, location and design to be approved by County Engineering and conform to AASHTO standards.

Each lot is labeled with its size in acres on the plat. This should be revised on the final plat to label each lot with its size in both square feet and acres, or a table should be provided on the plat furnishing the same information.

A common are is indicated at the intersection of Southridge Drive and Hardeman Road. A note should be required on the final plat stating that the maintenance of the common area is the responsibility of the property owners and not Mobile County.

The site is within the J. B. Converse watershed, which contains the drinking water supply for the Mobile Area Water and Sewer System. As amended, the Subdivision Regulations Environmental and Watershed Protection section states the following requirements for development within drinking water supply watersheds:

“In any watershed which contains a public drinking water source, including, but not necessarily limited to, the J. B. Converse Watershed, no field lines or septic tanks may be

constructed or maintained within a “flood prone area” as designated by FEMA, or within a “Buffer Zone” as defined in Section II. Within any such watershed, storm water detention facilities are required in any Subdivision. Detention criteria shall comply with the highest applicable adopted standard, which currently requires a minimum detention capacity to accommodate the volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate. A licensed Professional Engineer must certify that the design of the Subdivision and its storm water detention features are designed in accord with these requirements. Any storm water detention facility must be shown in the plans and on the recorded subdivision plat as common area not maintained by the City of Mobile, Mobile County or the State of Alabama.”

The Subdivision Regulations define a “Buffer Zone” as follows:

“The area: Within 100 feet of a public drinking water source; within 50 feet of perennial streams and their associated wetlands; and within 25 feet of natural drainage features and their associated wetlands.”

Therefore, the Environmental and Watershed Protection requirements of the Subdivision Regulations should apply to this subdivision.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. “Best Management Practices” for water quality protection as defined in The Use of Best Management Practices (BMPs) in Urban Watershed – EPA should apply.

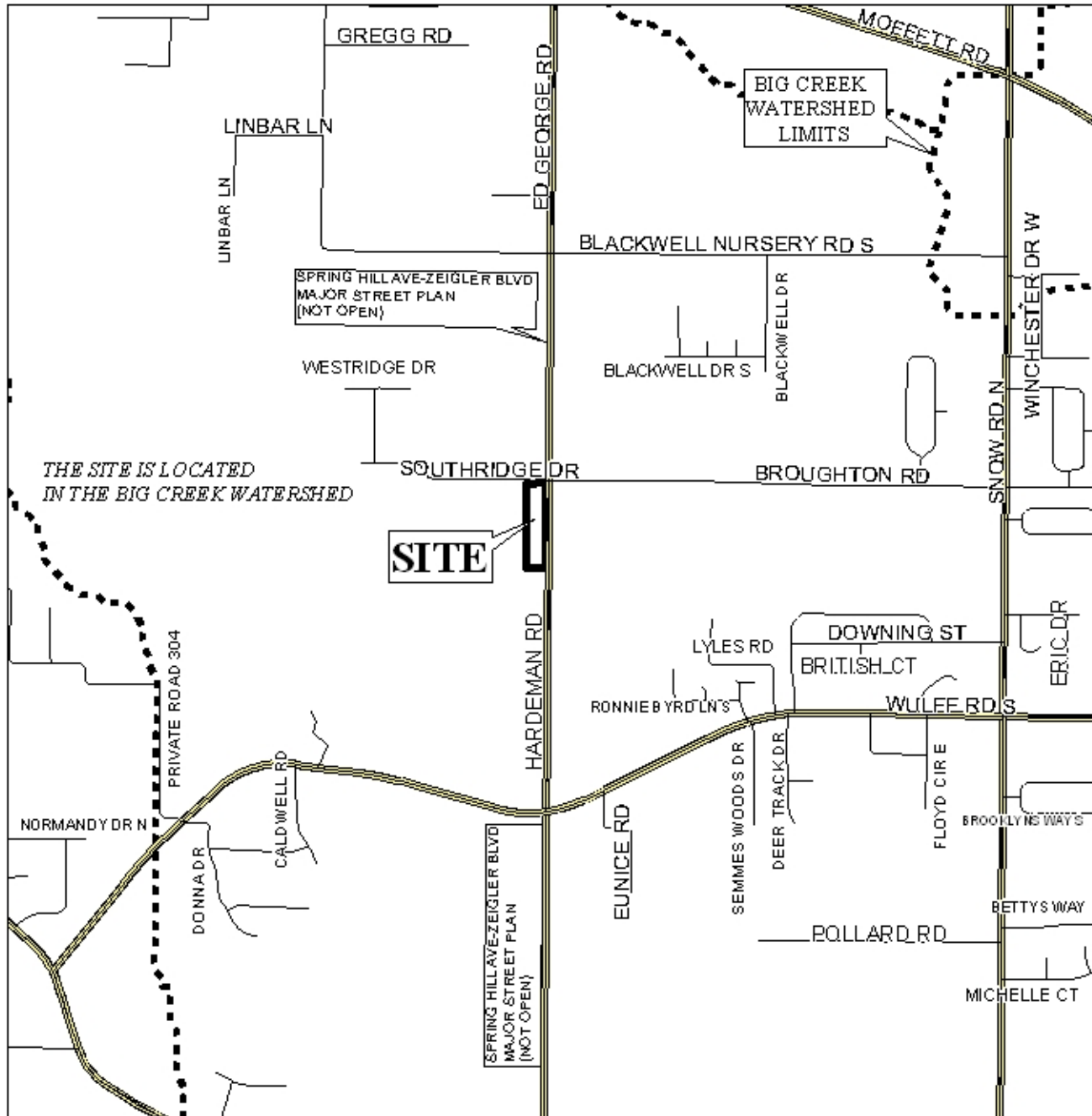
A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) illustration of the 25’ minimum building setback line from the current right-of-way along Southridge Drive;
- 2) illustration of a 50’ minimum building setback line along Hardeman Road, as measured from the current right-of-way line, so as to allow a 25’ building setback as measured from the future right-of-way of the Major Street Plan;
- 3) placement of a note on the final plat stating that Lot 1 is limited to one curb cut to Southridge Drive and one curb cut to Hardeman Road, Lot 2 is limited to one curb cut to Hardeman Road, and Lot 3 is limited to two curb cuts to Hardeman Road, with the size, location and design of all curb cuts to be approved by County Engineering and conform to AASHTO standards;
- 4) revision of the plat to label each lot with its size in both square feet and acres, or the provision of on the plat furnishing the same information;

- 5) placement of a note on the final plat stating that the maintenance of the common area is the responsibility of the property owners and not Mobile County;
- 6) compliance with the Environmental and Watershed Protection requirements of the Subdivision Regulations, more specifically: no field lines or septic tanks may be constructed or maintained within a “flood prone area” as designated by FEMA, or within a “Buffer Zone” as defined in Section II. Storm water detention facilities are required. Detention criteria shall comply with the highest applicable adopted standard, which currently requires a minimum detention capacity to accommodate the volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate. A licensed Professional Engineer must certify that the design of the Subdivision and its storm water detention features are designed in accord with these requirements. Any storm water detention facility must be shown in the plans and on the recorded subdivision plat as common area not maintained by the City of Mobile, Mobile County or the State of Alabama.” Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 7) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 8) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 10 DATE March 19, 2009

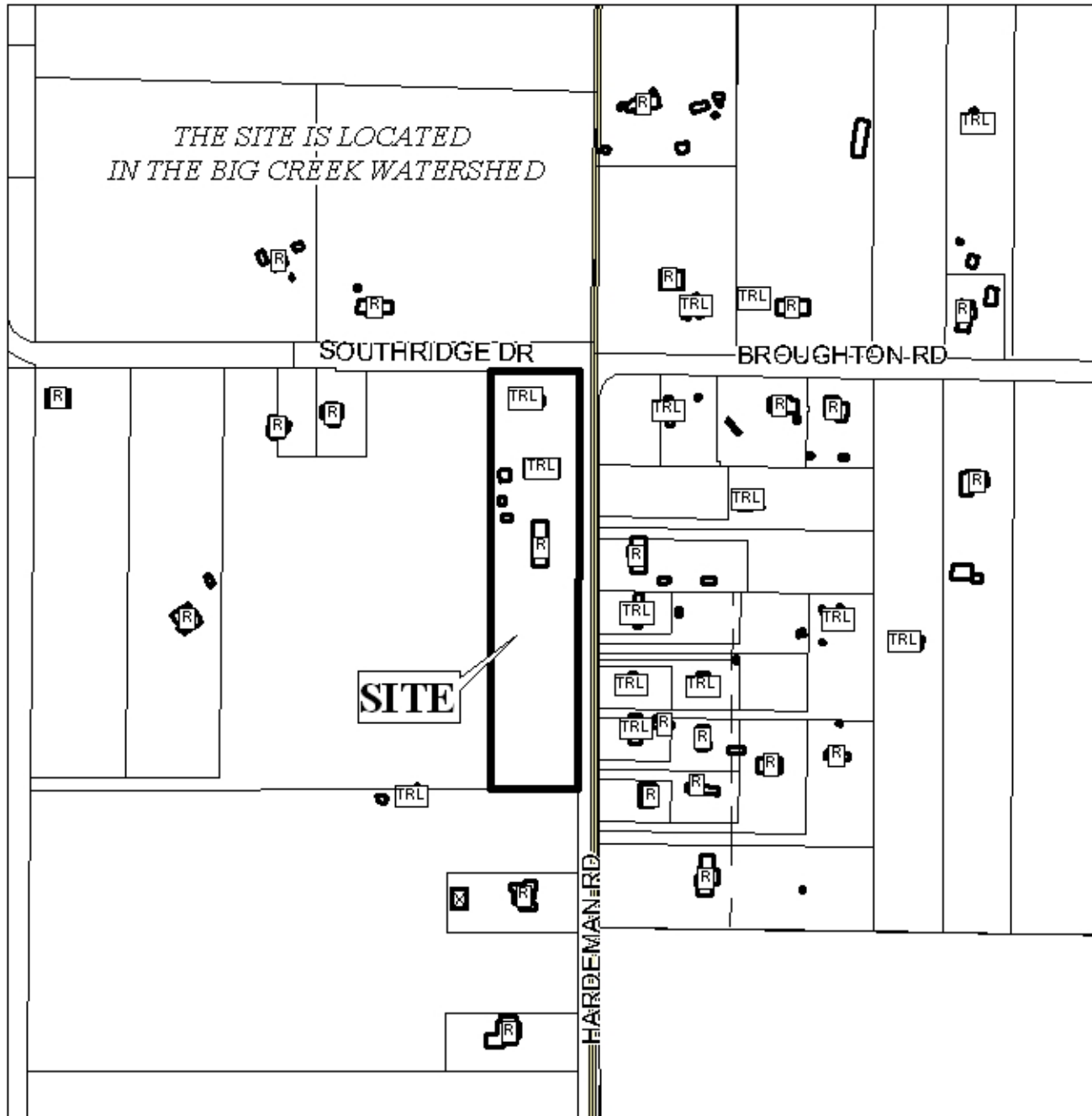
APPLICANT Ballard Estates Subdivision

REQUEST Subdivision



BALLARD ESTATES SUBDIVISION

THE SITE IS LOCATED
IN THE BIG CREEK WATERSHED



APPLICATION NUMBER 10 DATE March 19, 2009

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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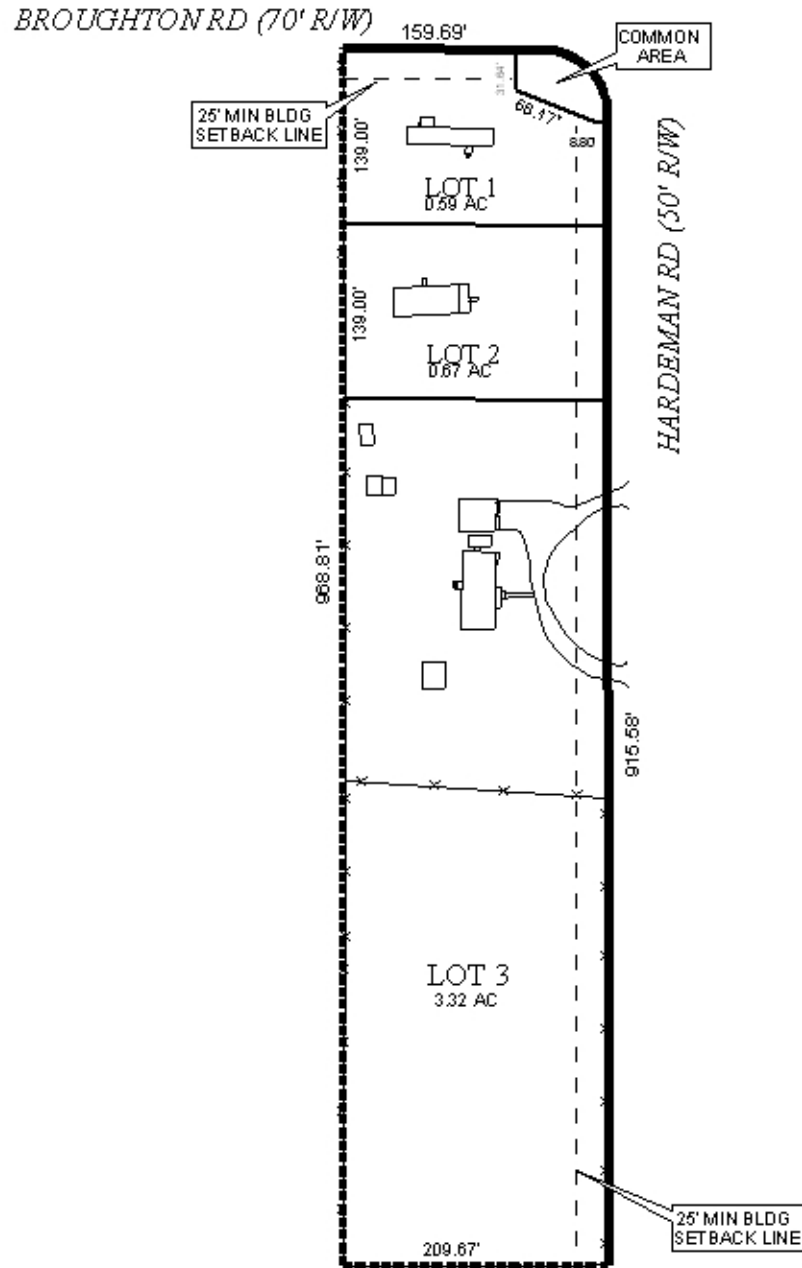
BALLARD ESTATES SUBDIVISION



APPLICATION NUMBER 10 DATE March 19, 2009



DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE March 19, 2009

APPLICANT Ballard Estates Subdivision

REQUEST Subdivision

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