

AS SUBDIVISION, RESUBDIVISION OF LOTS 1 & 3

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer services has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2 lot, 7.09 ± acre subdivision which is located on the South side of Airport Boulevard, 630 feet ± West of Snow Road. The applicant states that the subdivision is served by city water and sanitary sewer systems.

The purpose of this application is to create 2 legal lots of record from 2 legal lots of record. A previous 3 lot subdivision was approved by the Planning Commission at its November 18, 2010 meeting. The applicant is now proposing to adjust the location of the interior lot lines for the proposed Lot 1 and Lot 3.

The site fronts on Airport Boulevard, a major street, as illustrated on the Major Street Plan with a planned 100-foot right-of-way. The plat indicates the right-of-way width on Airport Boulevard varies however, a 50' right-of-way width is illustrated on the plat. If approved, the 50' right-of-way should be retained on the Final Plat.

The 25' minimum building setback line is indicated on the preliminary plat; and should be retained on the Final Plat, if approved.

The previous plat proposed two curb-cuts for the 3 lot subdivision with Lots 1 and 2 sharing a curb-cut, and Lot 3 having its own curb-cut. The preliminary plat does not reflect any new curb-cuts. Thus, as a means of access management and to allow the developer more flexibility, there should be a note on the Final Plat limiting each lot to a total of two curb-cuts with the location, size and design to be approved by Mobile County Engineering and to conform to AASHTO standards.

As proposed Lot 1 does not completely extend to the eastern property line, thus a portion of Lot 3 has frontage to the East of Lot 1, as well as to the West of Lot 1. The plat should be revised to eliminate that portion of Lot 3 between Lot 1 and the eastern property line, to eliminate the small

pole illustrated on the plat between the proposed Lot 1 and the adjacent property. It should be noted that the remaining piece of Lot 3, between Lot 1 and the east property line, ranges from 10' to 25' in width. Thus, eliminating the small pole portion of Lot 3, east of Lot 1, is recommended.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

It should be noted the lot sizes are labeled in acres and square feet; this should be retained of the final plat.

It should also be noted the proposed Lot 3 currently has drainage easements that run throughout property. There is a note located on the preliminary plat that states, *"this easement is temporary drainage easement for Mobile County, this easement will remain in the county name until such time as the existing drainage is improved per plans approved by Mobile County, at which time the easement will revert back to the property owner"*. However a note should be placed on the Final Plat stating no structures shall be constructed or placed in any easements.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

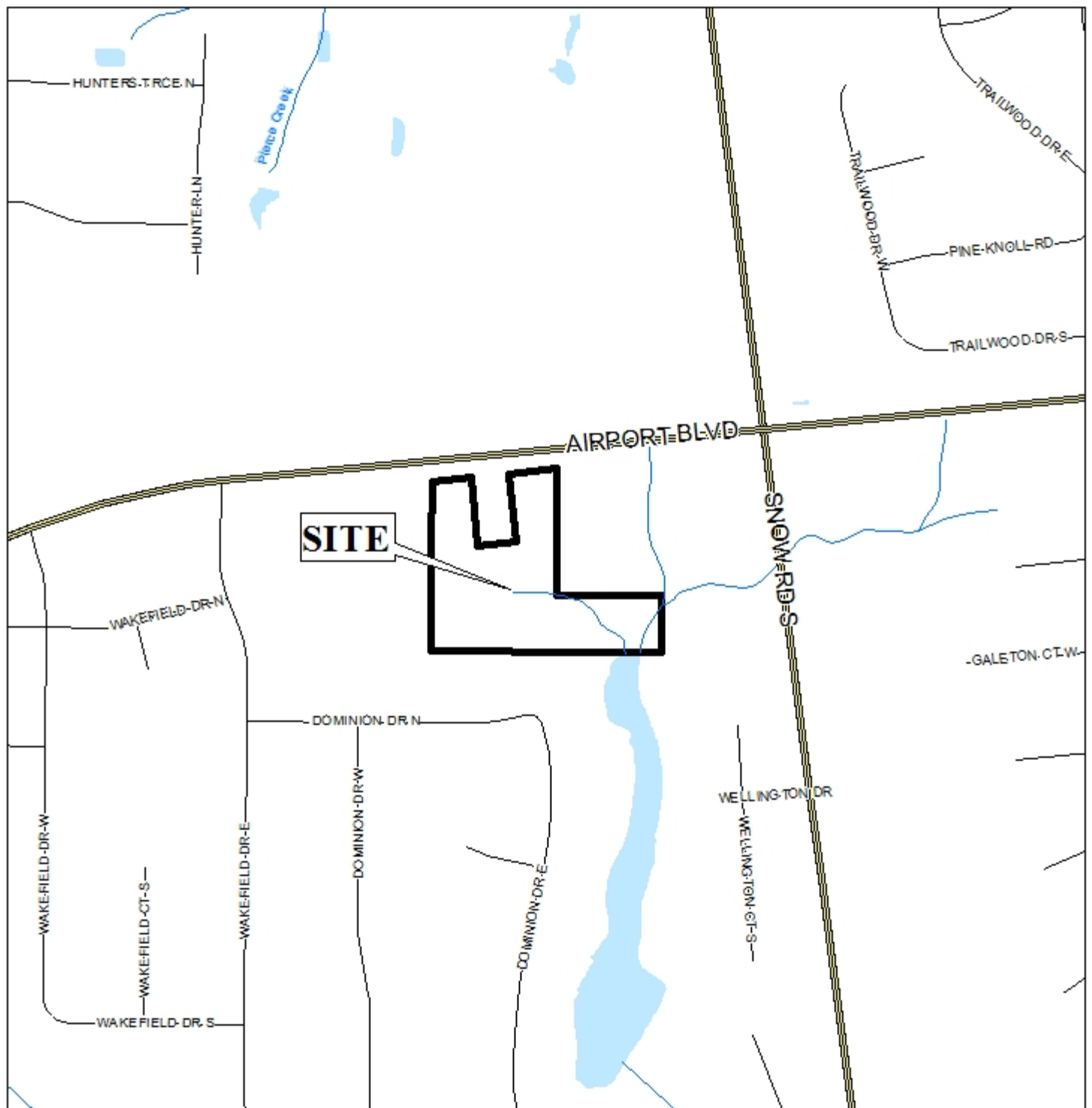
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should be illustrated on the Final Plat.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat limiting the lots to a combined total of 2 curb-cuts with the location, size and design to be approved by Mobile County Engineering and to conform to AASHTO standards;
- 2) retention of 50' right-of-way width as depicted from centerline of Airport Boulevard on the Final Plat;
- 3) retention of 25-foot minimum building setback line on the Final Plat;
- 4) revision of the plat to eliminate the pole portion of Lot 3, East of Lot 1;
- 5) revision of the lot sizes in acres and square feet on the Final Plat to reflect changes required by number 4;

- 6) placement of a note on the Final Plat stating no structures shall be constructed or placed in any easements;
- 7) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered , threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 9) placement of a note on the Final Plat stating that development *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*and
- 10) retention of all other existing notes depicted on the preliminary plat to be illustrated on the Final Plat.

LOCATOR MAP



APPLICATION NUMBER 10 DATE November 21, 2013

APPLICANT AS Subdivision, Resubdivision of Lots 1 & 3

REQUEST Subdivision

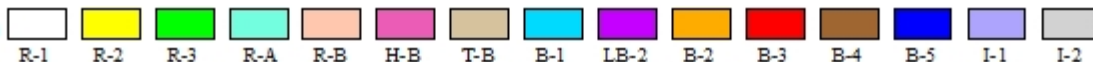


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LEGEND



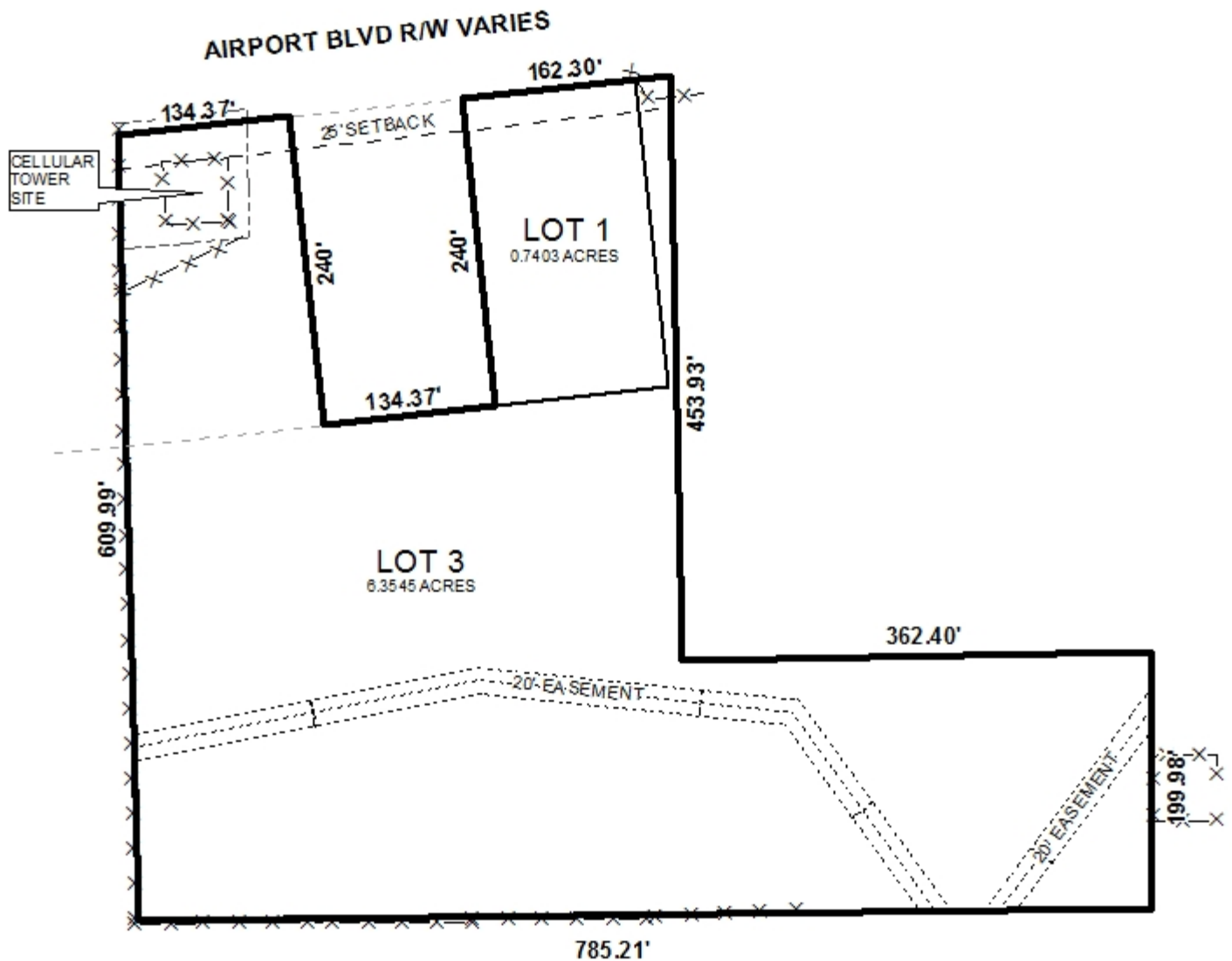
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APPLICATION NUMBER 10 DATE November 21, 2013



DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE November 21, 2013

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REQUEST Subdivision

