

## **ASHILA ESTATES SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 2 lot, 11.7± acre subdivision which is located at 5945 Magnolia Road (East side of Magnolia Road, 580'± South of Allegro Drive). The applicant states that the subdivision is served by public water and individual septic tank.

The purpose of this application is to reorient the interior lot lines between two existing metes and bounds parcels. According to the applicant, upon a survey and title search, it was discovered that a structure had been built erroneously across a lot line, hence this application to correct this.

The proposed lots meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is indicated on the preliminary plat in acres and should be revised to also depict the size in square feet, on the final plat, if approved.

Both lots have adequate frontage on a public right-of-way. The site fronts Magnolia Road, a minor street not provided with curb and gutter. Section V.B.14 of the Subdivision Regulations requires a right-of-way width of 60 feet for minor streets not provided with curb and gutter. As such, dedication sufficient to provide 30 feet from the centerline should be required. It should also be noted that Magnolia Road is an existing closed end street. Ordinarily, dedication should be provided for construction of a turnaround, however, the right-of-way for Magnolia Road ends at the right-of-way for Interstate 10, and the proposed lots also abut the Interstate 10 right-of-way. Sufficient right-of-way exists to allow for the construction of a turnaround, therefore, further dedication should not be required. Interstate 10 is major street as defined on the Major Street Plan Component of the Comprehensive Plan. The Plan requires a right-of-way of 350 feet for this roadway. There currently appears to be sufficient right-of-way in this area to satisfy these requirements, and, as such, no further dedication for I-10 should be required.

It should be noted that Magnolia Road appears to be a gravel road, however, the right-of-way is public and the road is County-maintained. As such, the roadway appears to meet the standards of Section V.D.4 of the Subdivision Regulations which requires lots to "abut a dedicated and maintained public street." Further, as the number of lots is not being increased and only a minor,

interior lot line change is proposed to occur, the traffic on the road should not increase. However, a note should be placed on the plat stating that there will be no future subdivision to increase the number of lots until Magnolia Road is constructed to County Road standards.

The 25-foot minimum building line is depicted along Magnolia Road, however, the setback line should be revised to reflect any required dedication. Also, the 25-foot setback line should also be depicted along the I-10 right-of-way on the final plat, if approved.

Lot 1 appears to have one curb cut to Magnolia Road based on aerial photography. As such, Lot 1 should be limited to the existing curb cut. Lot 2 has significantly more public right-of-frontage along Magnolia Road, and thus should be limited to two curb cuts to Magnolia Road. The size, design, and location of all curb cuts should be approved by Mobile County Engineering. As the site fronts Interstate 10, and because Interstate 10 is a limited access highway, access to Interstate 10 from both lots should be denied.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

A portion of the site appears to be located in the floodplain of Rabbit Creek. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

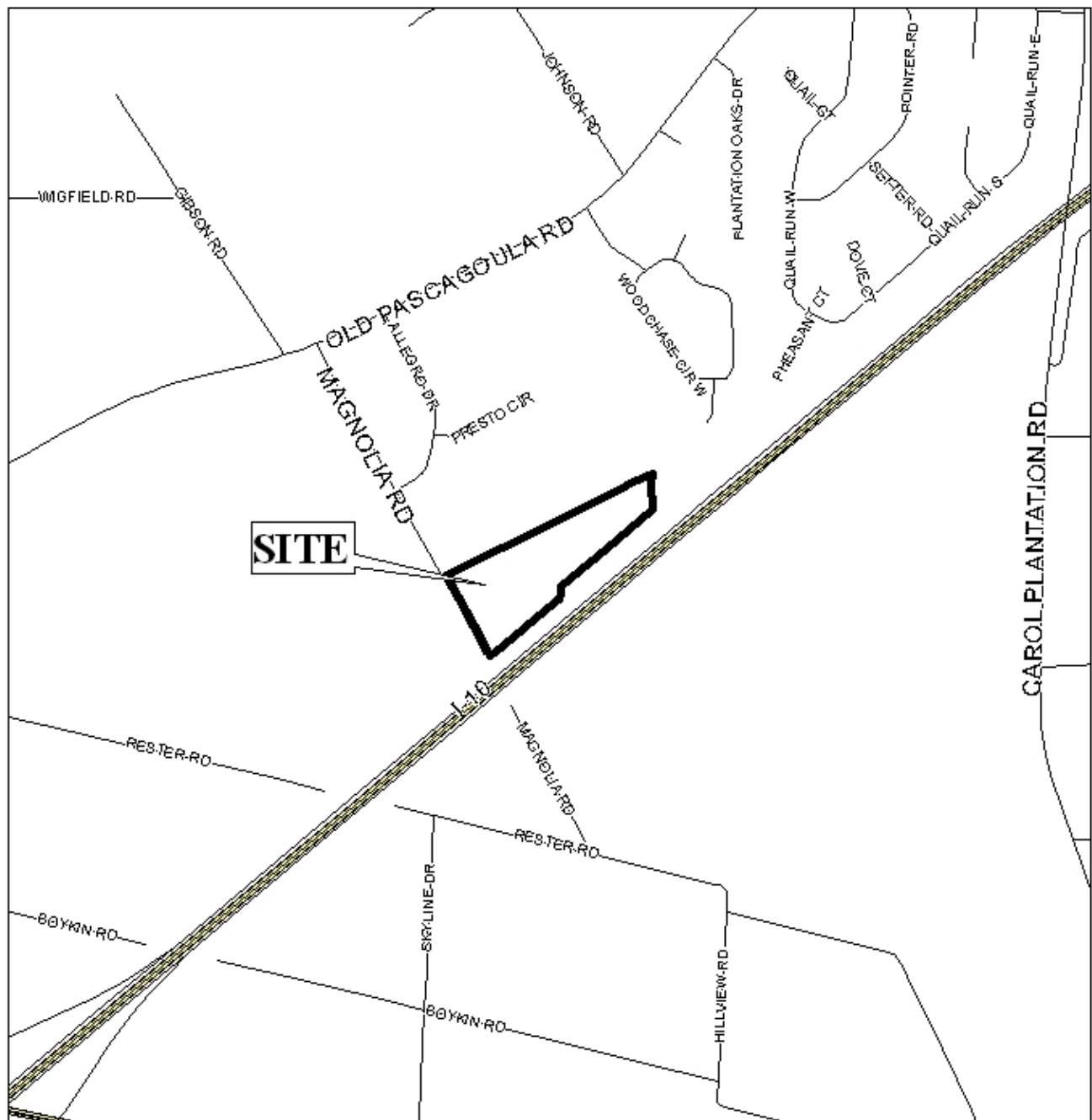
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

Based on the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) Provision of labeling of the lot size, in square feet, on the final plat, or provision of a table on the final plat with the same information;
- 2) Dedication sufficient to provide 30 feet from the centerline of Magnolia Road;
- 3) Depiction of the 25-foot minimum building line wherever the site fronts a public right-of-way, including Interstate 10;
- 4) Placement of a note on the final plat denying both Lot 1 and Lot 2 access to Interstate 10;

- 5) Placement of a note on the final plat limiting Lot 1 to one curb cut and Lot 2 to two curb cuts to Magnolia Road, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering;
- 6) Placement of a note on the final plat stating that there will be no future subdivision to increase the number of lots until Magnolia Road is constructed to County Road standards
- 7) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 8) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 10) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

# LOCATOR MAP



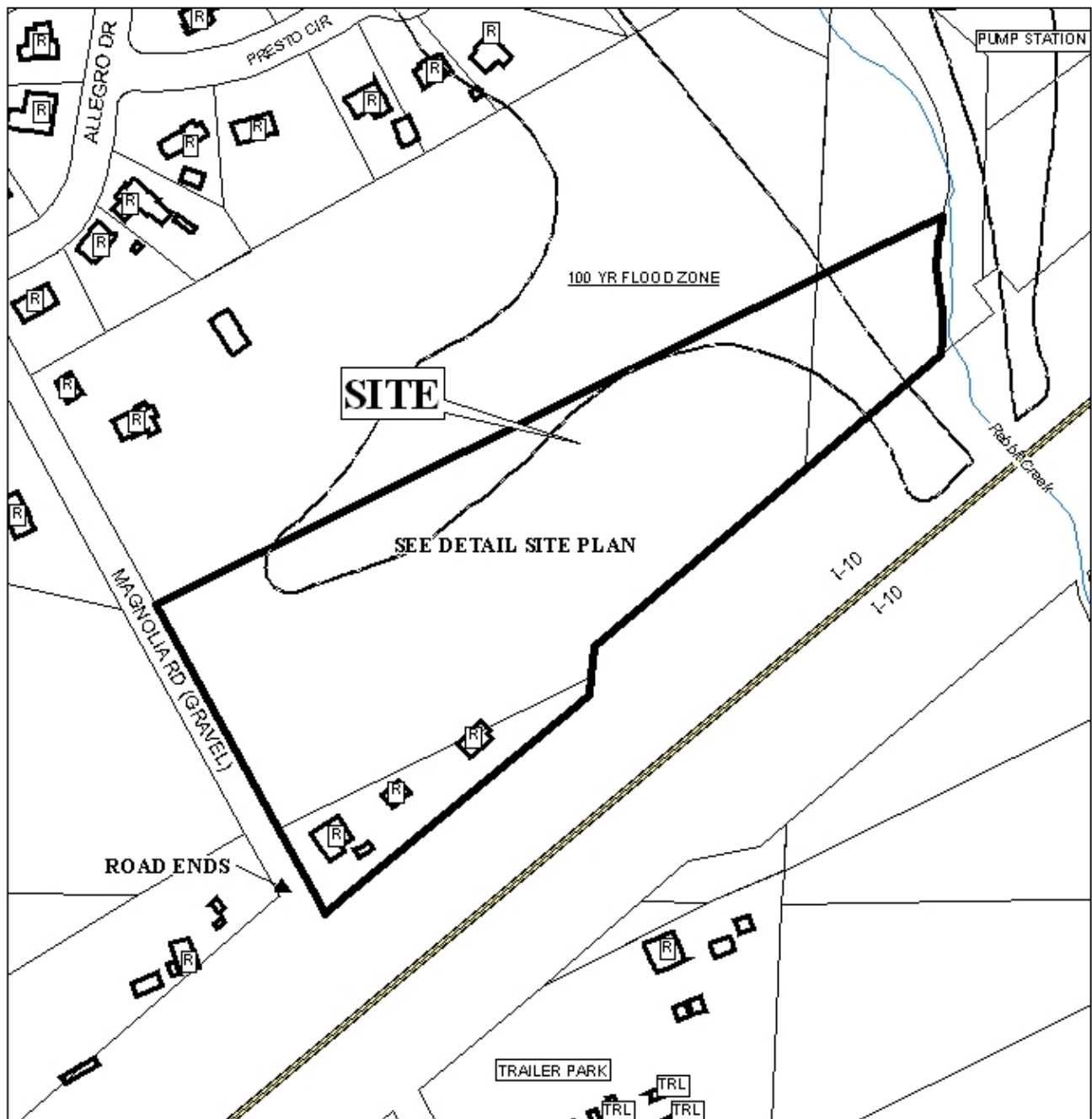
APPLICATION NUMBER 10 DATE November 5, 2009

APPLICANT Ashila Estates Subdivision

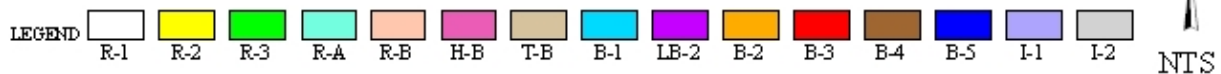
REQUEST Subdivision



# ASHILA ESTATES SUBDIVISION



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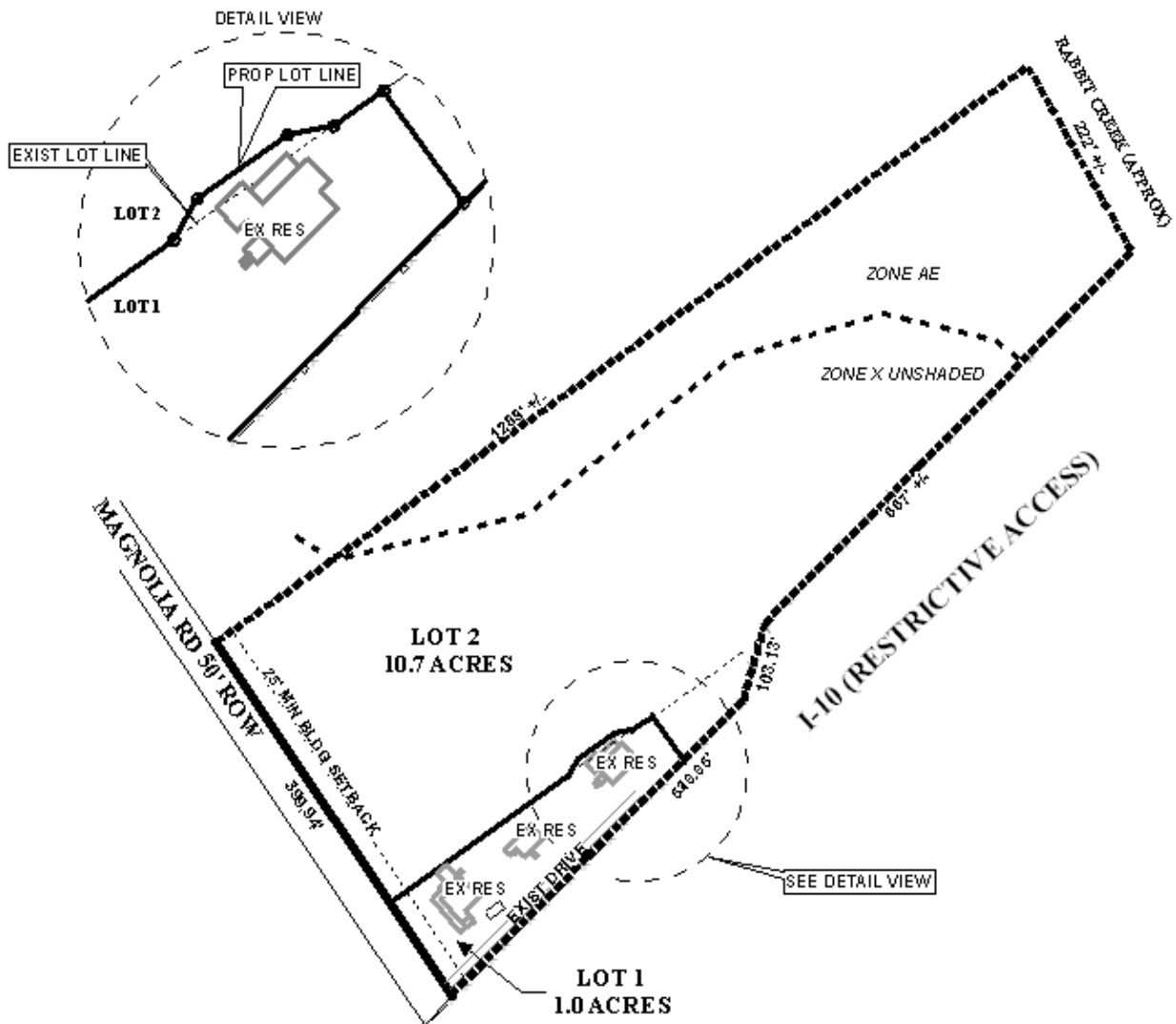
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## DETAIL SITE PLAN



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APPLICANT Ashila Estates Subdivision

REQUEST \_\_\_\_\_ Subdivision \_\_\_\_\_



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