

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: August 1, 2019**

|   |   |
|---|---|
| <b><u>DEVELOPMENT NAME</u></b>              | A & B Subdivision, Resubdivision of Lot 1   |
| <b><u>SUBDIVISION NAME</u></b>              | A & B Subdivision, Resubdivision of Lot 1   |
| <b><u>LOCATION</u></b>                      | 1643 Varner Drive (East side of Varner Drive, 250'± North of Halls Mill Road).  |
| <b><u>CITY COUNCIL DISTRICT</u></b>         | District 4  |
| <b><u>AREA OF PROPERTY</u></b>              | 1 Lot / 1.2 ± acres   |
| <b><u>CONTEMPLATED USE</u></b>              | Planned Unit Development Approval to allow multiple buildings on a single building site, and subdivision approval to create one legal lot of record from an existing legal lot and a metes-and-bounds parcel. |
| <b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b> | None given.   |

**ENGINEERING**

**COMMENTS**      **Subdivision:** FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Delete "(A P.U.D)" from the title at the top of the Plat.
- C. Add Varner Drive to the vicinity map.
- D. Revise the subdivision boundary line to be distinct. It appears to match the other parcel lines.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- G. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- H. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.

- J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.

**Planned Unit Development:**

1. The proposed building will be addressed as 1643 Varner Dr. with a Unit Number (i.e. 1, A). Please contact the Engineering Department (208-6216) to discuss the options.
2. Label the SITE PLAN sheet (C1.0) as "PUD SITE PLAN"
3. ADD THE FOLLOWING NOTE TO THE PUD SITE PLAN:
  - a. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

**TRAFFIC ENGINEERING  
COMMENTS**

Site is limited to its existing curb cut with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY**

**COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

**FIRE DEPARTMENT**

**COMMENTS** All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. 2012 International Fire Code.

**REMARKS**

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site, and subdivision approval to create one legal lot of record from an existing legal lot and a metes-and-bounds parcel. The site is located in Council District 4, and according to the applicant the site is served by public water and sanitary sewer.

The site has been given a Light Industry (LI) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation applies to an array of modern, low-impact industrial uses that include assembly and processing, warehousing, distribution and wholesaling facilities. The bulk of the light industrial use must be contained within a building or facility. If a light industrial use requires outside storage, the storage must be limited in area and appropriately screened from view in accordance to specific zoning requirements. This designation may also include uses such as complementary offices and retail.

LI also includes areas that may be regarded as “industrial business”, where the land uses include business administration and logistics operations for industrial concerns, building trade contractors facilities and advance research facilities, as well as stand-alone educational, scientific and industrial research facilities, or any combination of those facilities located in light industrial and technology parks. Many parcels used for industrial business are smaller and scattered throughout Mobile. For this reason, these parcels are not singled out in the FLUM, but rather are addressed through zoning.

Light industrial uses are characterized by attractive, accessible and connected development, compatible with the character of surrounding neighborhoods. Development may take the form of planned campuses in park-like settings or unified design corridors, with consideration to factors such as site and building orientation, building design, landscaping and buffering, lighting, continuity of pedestrian networks, access and connectivity to transit and to freight transportation.

Heavy commercial and, in some cases, high-density residential land uses may serve as transitions between LI and other, lower-intensity land use designations. Protection buffers may also be required by zoning.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

PUD review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and, to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible

under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is **site-plan specific**, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

A portion of the proposed Lot 1 is already developed with an existing 6,370 square foot office building for an electrical company. The applicant is proposing to add a second structure on the site that will be approximately 2,400 square feet, and which will be used primarily for the storage and maintenance of the company's vehicles.

The site has frontage on Varner Drive, a minor street with curb and gutter, with an adequate 50' right-of-way.

The preliminary plat depicts the lot size in both square feet and acres; however the site plan does not. The site plan should be revised to depict the lot size in square feet and acres or the provision of a chart depicting the same information is required.

As access management is a concern, a note should be placed on the Final Plat and the site plan stating the site is limited to its existing curb cut with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

The existing building was built in 1989, according to Mobile County Revenue Commission records, and was originally about 6,500 square feet. At some point between 2006 and 2010, an addition of about 1,000  $\pm$  square feet was built, apparently without permits, and a 600  $\pm$  square foot pole barn/shed was also added, apparently without permits.

The primary building is now approximately 7,200 square feet, with a portion of the building used as office space, and the remainder for warehouse / storage. The applicant states that there is between 1,500-1,800 square feet of office space and 5,000 of warehouse for the existing building. The proposed 2,400 square foot building is designated to be used as maintenance and storage garage for company vehicles.

The proposed new building, when combined with the addition made between 2006 and 2010, and the pole barn/shed, may exceed the 50% threshold for compliance with the tree and landscape requirements of the Zoning Ordinance. Thus, frontage trees along Varner Drive will be required, and 6,272 square feet of total landscape area must be provided. Of the total landscape area, 3,763 square feet must be provided between the front building façade and the front property line.

Regarding parking, the applicant states that there will be no new employees associated with the new building. The existing business has 15 employees, and this is not anticipated to change. Parking is required at a ratio of 1 space per 300 square feet of office space, and 1 space per 3 warehouse employees. It would appear that 6 parking spaces are required for the office area, and 3 more for the warehouse employees. As these are required spaces, they must be paved in asphalt, concrete or a similar material. The site plan does not depict parking, thus it should be revised to depict required parking, including any accessible parking spaces.

Regarding vehicular parking, as previously stated, all required parking in an I-1 district must be paved in asphalt, concrete or similar surface. Any additional parking or laydown yard space may be of an aggregate material. It appears that vehicles are currently parking on grass, which is an unimproved, non-compliant surface; however, there may be aggregate underneath the grass surface material. With the addition of the proposed building, the applicant should ensure that all vehicular storage areas are either paved or covered in aggregate.

The 25-foot minimum building setback line is depicted on the preliminary plat, but is not depicted on the PUD site plan. The PUD site plan should be revised to depict the 25' minimum building setback where the site abuts street frontage.

The site plan also depicts a note that addresses dumpster compliance; however there is no illustration of a dumpster on site. The PUD site plan should be revised to depict a compliant dumpster (pad and enclosure) as per Section 64-4.D.9 of the Zoning Ordinance.

The preliminary plat depicts a 12.5' drainage easement and an existing 7.5' drainage and utility easement; however the PUD site plan does not reflect the same information. The PUD site plan should be revised to depict all easements, and a note should be placed on both the site plan and the plat stating no structures shall be placed or constructed within any easements.

Lastly, it appears that the existing chain link fence includes barbed-wire along the top. Any new fencing on the property must be appropriately permitted.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of the lot size in square feet and acres ;
- 2) retention of the 25-foot minimum building setback line along Varner Drive;
- 3) retention of the right-of-way width of Varner Drive;

- 4) retention of the note stating no structures shall be placed or constructed within any easements;
- 5) compliance with Engineering comments: *"1. The proposed building will be addressed as 1643 Varner Dr. with a Unit Number (i.e. 1, A). Please contact the Engineering Department (208-6216) to discuss the options. 2. Label the SITE PLAN sheet (C1.0) as "PUD SITE PLAN". 3. ADD THE FOLLOWING NOTE TO THE PUD SITE PLAN: a. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy."*;
- 6) placement of a note on the Final Plat stating the following Traffic Engineering comments: *"Site is limited to its existing curb cut with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance."*;
- 7) compliance with Urban Forestry comments: *"Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit."*;
- 8) compliance with Fire comments: *"All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)"*;
- 9) submission of two copies of the revised PUD site plan to Planning and Zoning prior to the signing of the Final Plat; and
- 10) full compliance with all municipal codes and ordinances.

**Planned Unit Development:** Staff recommends the following Findings of Fact for Approval for the Planned Unit Development:

- a) the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it allows the business to add on to an existing developed site and utilize the new building for storage of vehicles instead of having vehicles parked on the grass, which will give a more aesthetically pleasing look to the site;
- b) the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because the subdivision and PUD make the lot more in compliance with the Zoning Ordinance requirements, and can allow for more future construction for the business on one site;
- c) the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain

undeveloped or that are appropriate for redevelopment), because the business is already existing and located within a developed area;

- d) the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because no new public infrastructure must be constructed to meet the applicant's needs.

Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

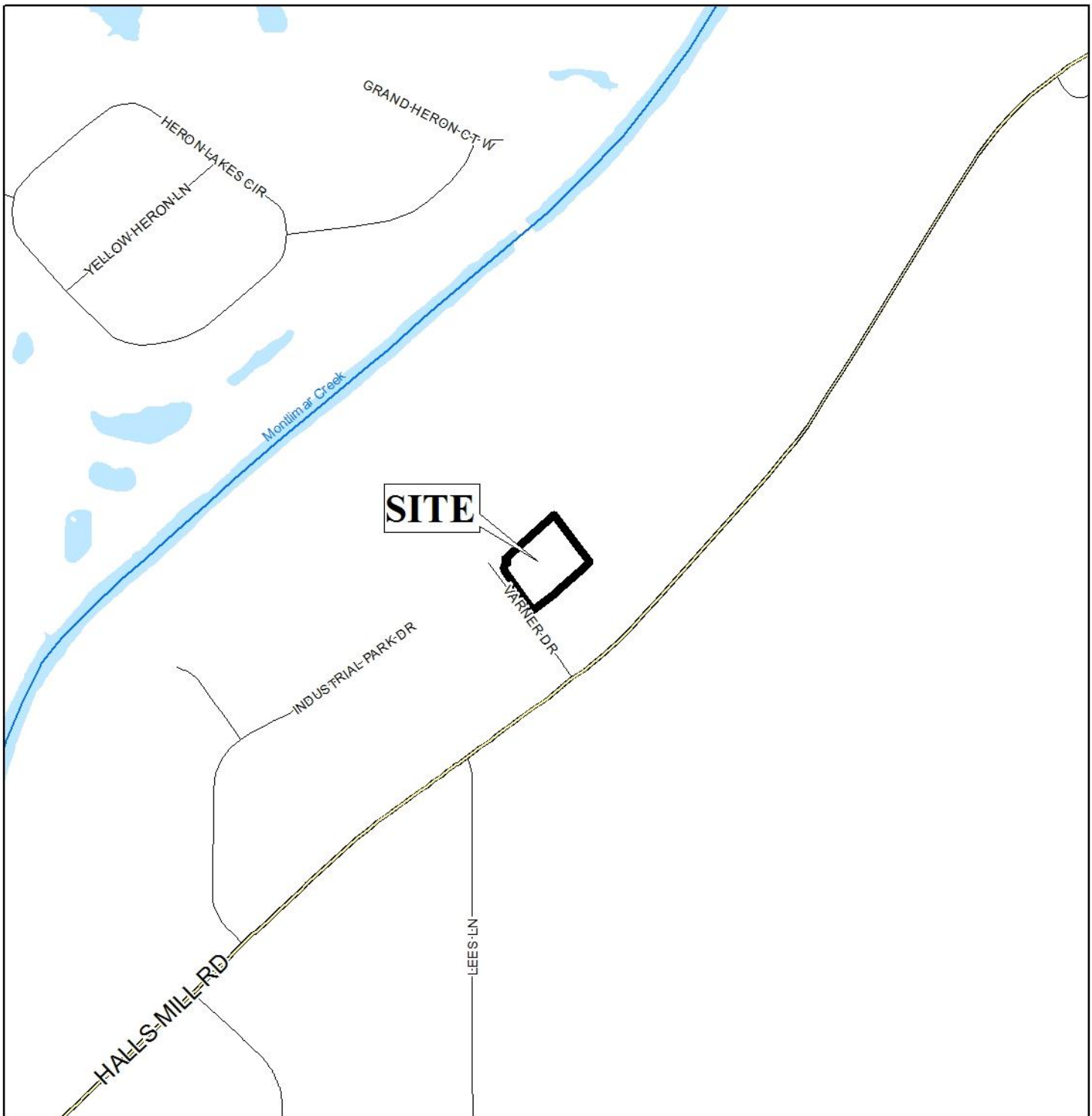
- 1) revision of the site plan to depict the lot size in square feet and acres or the provision of a chart depicting the same information;
- 2) revision of the site plan to depict 9 compliant parking spaces;
- 3) revision of the site plan to reflect full compliance with tree and landscaping compliance (due to the cumulative building additions resulting in a more than 50% increase in building size);
- 4) revision of the site plan to illustrate the total square footage of all structures, and the square footage that is designated for office space and storage/ warehouse
- 5) revision of the site plan to depict the 25-foot minimum building setback line Varner Drive;
- 6) revision of the site plan to depict a dumpster in compliance with Section 64-4.D.9 of the Zoning Ordinance;
- 7) any new barbed-wire or similar fencing to be appropriately permitted;
- 8) placement of a note on the site plan stating no structures shall be placed or constructed within any easements;
- 9) revision of the site plan to depict the 12.5' drainage easement and an existing 7.5' drainage and utility easement;
- 10) compliance with Engineering comments: *"1. The proposed building will be addressed as 1643 Varner Dr. with a Unit Number (i.e. 1, A). Please contact the Engineering Department (208-6216) to discuss the options. 2. Label the SITE PLAN sheet (C1.0) as "PUD SITE PLAN". 3. ADD THE FOLLOWING NOTE TO THE PUD SITE PLAN: a. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.";*
- 11) placement of a note on the Final Plat stating the following Traffic Engineering comments: *"Site is limited to its existing curb cut with any changes in size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.";*
- 12) compliance with Urban Forestry comments: *"Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree*

*Commission. Removal of heritage trees from a commercial site will require a tree removal permit.”;*

- 13) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)”;*
- 14) placement of a note on the site plan stating that any changes to the site plan will require new applications for Planned Unit Development Approval prior to the issuance of any permits;
- 15) submission of revised site plans to Planning and Zoning prior to signing of the Final Plat; and
- 16) full compliance with all municipal codes and ordinances.



# LOCATOR MAP



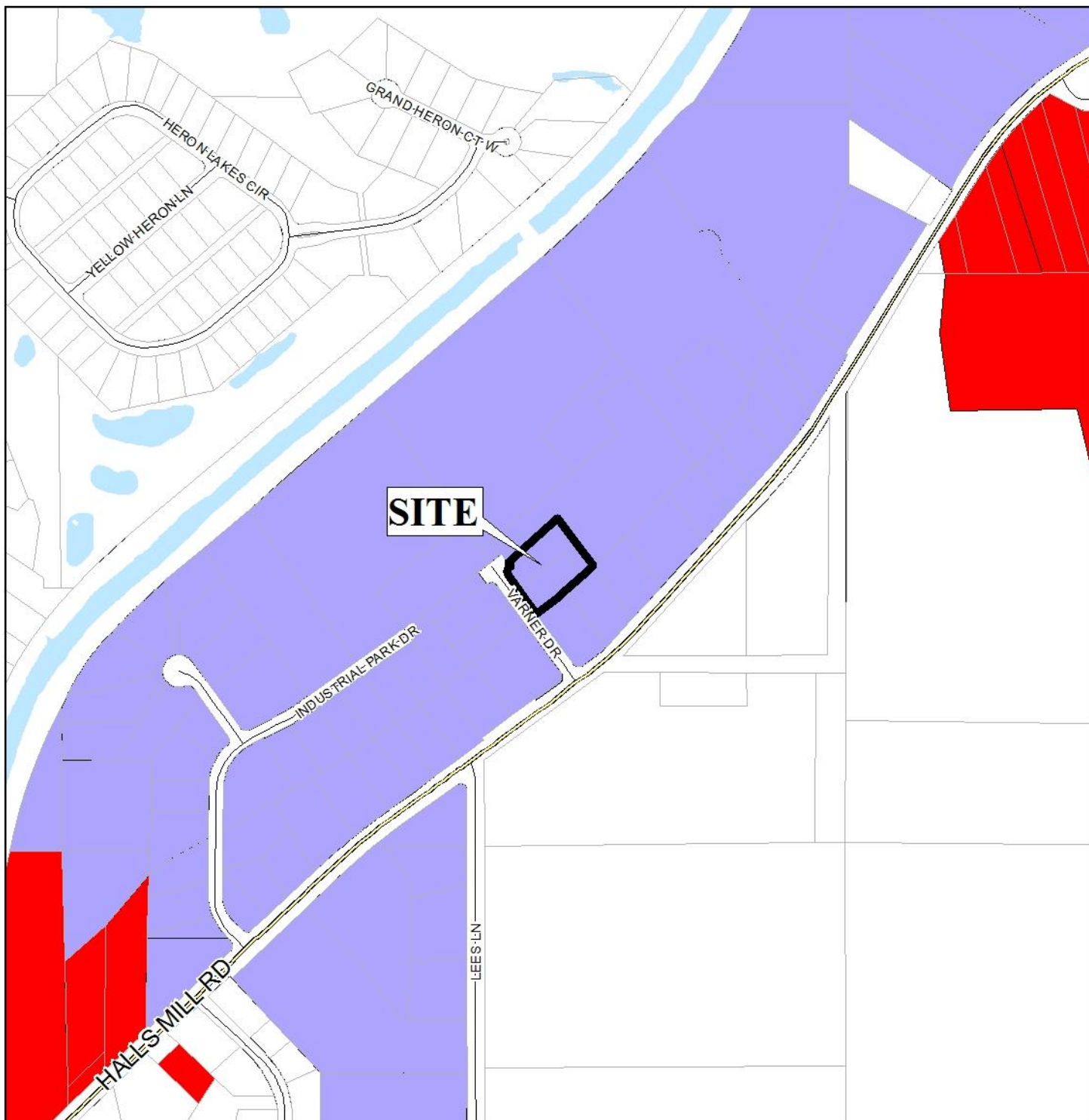
APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD



# LOCATOR ZONING MAP



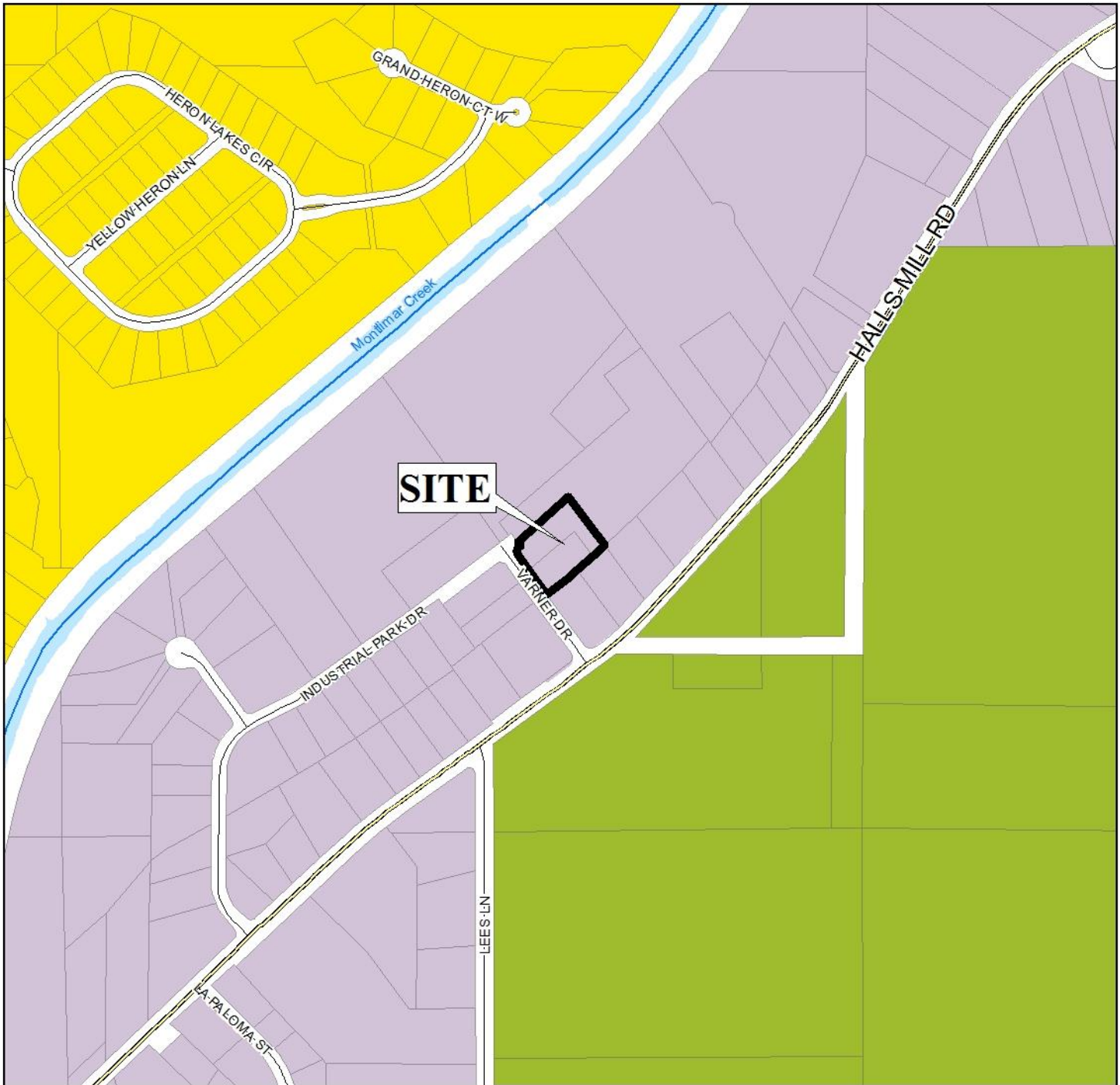
APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD



# FLUM LOCATOR MAP



APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

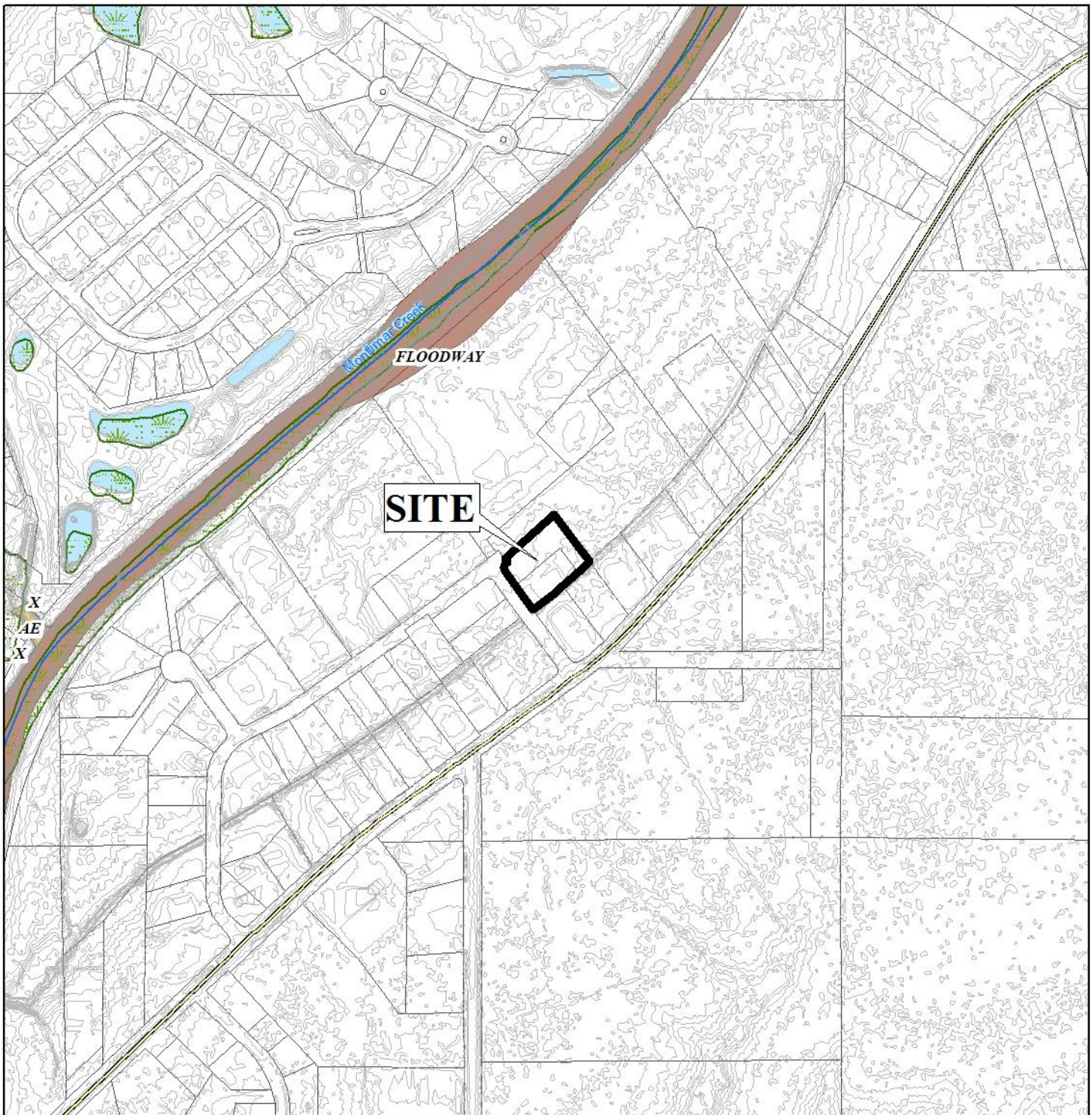
REQUEST Subdivision, PUD

|                           |                                   |                     |                    |
|---------------------------|-----------------------------------|---------------------|--------------------|
| Low Density Residential   | Neighborhood Center - Traditional | Downtown Waterfront | Parks & Open Space |
| Mixed Density Residential | Neighborhood Center - Suburban    | Light Industry      | Water Dependent    |
| Downtown                  | Traditional Corridor              | Heavy Industry      |                    |
| District Center           | Mixed Commercial Corridor         | Institutional       |                    |





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD

|     |     |      |     |     |      |       |      |
|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B  | B-2 | B-5 | MUN  | SD-WH | T5.1 |
| R-1 | R-B | B-1  | B-3 | I-1 | OPEN | T3    | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD   | T4    | T6   |





# PLANNING COMMISSION

## VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units.

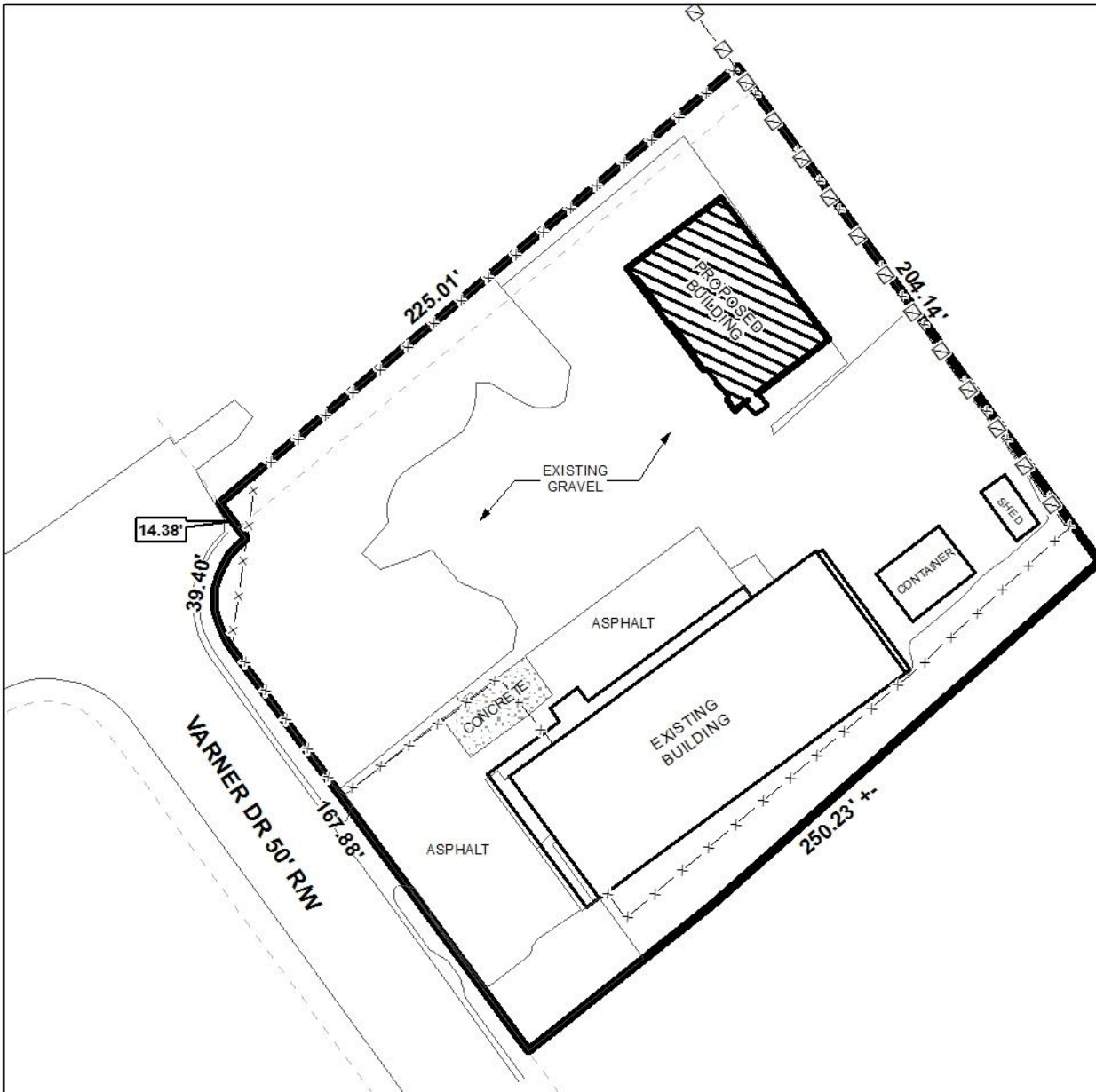
APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD



# SITE PLAN



The site plan illustrates the proposed building, existing buildings, and fences.

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APPLICANT A&B Subdivision, Resubdivision of Lot 1

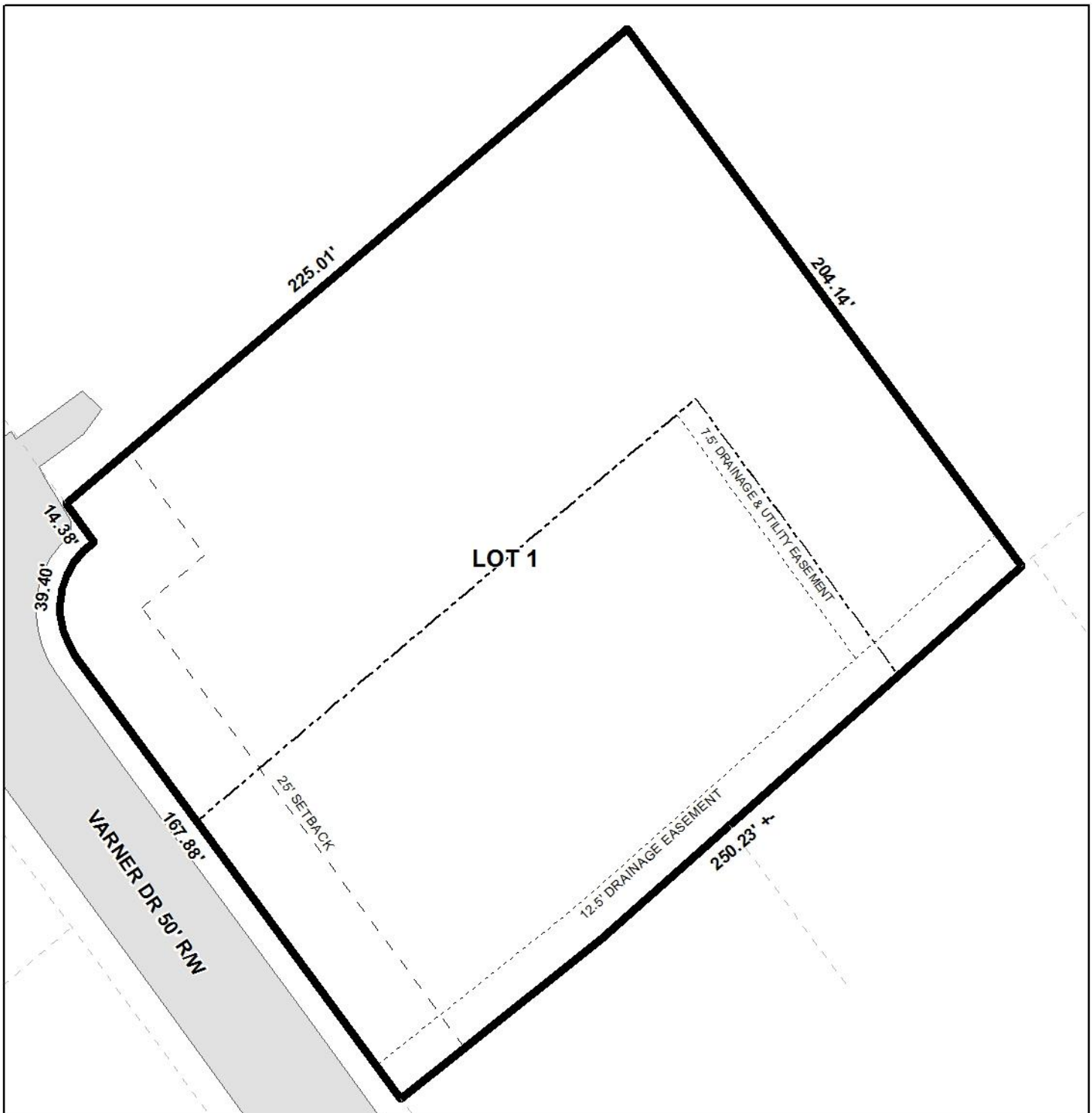
REQUEST Subdivision, PUD



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# DETAIL SITE PLAN



APPLICATION NUMBER 10 DATE August 1, 2019

APPLICANT A&B Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, PUD

