

**SUBDIVISION, PLANNED UNIT DEVELOPMENT  
& SIDEWALK WAIVER STAFF REPORT****Date: January 8, 2008****APPLICANT NAME**

Mr. Brett Smith, Ragan Smith Associates

**SUBDIVISION NAME**

Longleaf Pines Apartments

**LOCATION**

Northeast corner of Girby Road and Lloyds Lane.

**CITY COUNCIL  
DISTRICT**

District 6

**PRESENT ZONING**

B-2, Neighborhood Business

**AREA OF PROPERTY**

1-Lot/15.9± acres

**CONTEMPLATED USE**

Subdivision approval to create a legal lot of record, Planned Unit Development approval to allow twenty-eight apartment buildings, clubhouse, leasing office, and a maintenance/carwash facility on a single building site and sidewalk waiver to waive the construction of sidewalks along Girby Road and Lloyds Lane.

**TIME SCHEDULE  
FOR DEVELOPMENT**

No schedule provided.

**ENGINEERING  
COMMENTS**

Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property. Detention is not permitted within the public drainage easement.

Recommend approval of sidewalk waiver application due to current open drainage ditch and steep slopes.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. A traffic impact study has been submitted for this development. Recommendations for the project include construction of a left turn lane for the Girby Road driveway. Changes should be made in the plans to accommodate this recommendation.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

Shall comply with 2003 IFC – Appendices C and D with regard to adequate hydrant spacing, road widths, access roads and turn-arounds. Shall comply with Section 508.5.1.

**REMARKS**

The applicant is requesting Subdivision approval to create a legal lot of record, Planned Unit Development approval to allow twenty-eight apartment buildings, clubhouse, leasing office, and a maintenance/carwash facility on a single building site and a sidewalk waiver to waive the construction of sidewalks along Girby Road and Lloyds Lane.

The proposed 15.9± acre, 1-lot subdivision fronts Girby Road, and Lloyds Lane, each of which have 80-feet of right-of-way. Girby Road is a major street; therefore, dedication of 50-feet from the centerline of Girby Road is required by the Major Street Component of the Comprehensive Plan. However, due to the location and size of the development, access management is also a concern. The applicant has submitted a Traffic Impact Study to allow Traffic Engineering and Urban Development to assess the traffic volume and patterns, existing and proposed.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is proposing a 199-unit apartment complex with 28 two-story apartment buildings, an outdoor pool with a clubhouse building, leasing office and maintenance/carwash facility on approximately 15.9 acres. A total of 299 surface parking spaces are provided, which meets the 299 spaces that are required by the Zoning Ordinance.

Access to the proposed apartment development will be via entrances from Girby Road and Lloyds Lane. The proposed entrance to Girby Road which is located approximately in the center of the Girby Road frontage provides access to residents and guests, while the access from Lloyds

Lane which is located along the northern portion of the development is limited to residents only. The site also illustrates an emergency access approximately 200-feet from the intersection of Girby Road/Lloyds Lane. While this emergency access is required for emergency vehicle use, a note stating that this access will remain closed and only used by emergency vehicle should be placed on the Final Plat and site plan.

Access management is a concern due to the location of the proposed lot, the presence of a major street, the traffic volumes along the major street, the presence of an entrance/exit to a public middle school across the street from the site, and the close proximity to the Girby Road/Lloyds Lane intersection. The location of the existing entrance/exit to the middle school and the proposed location of the entrance/exit into the proposed apartment complex raise concerns of conflicts relating to turning movements. Furthermore, the volume of traffic generated by the apartment complex, the middle school, and the nearby Girby Road/Lloyds Lane intersection at this location is of great concern. As illustrated on the site plan it seems that the apartment complex entrance and the entrance to the existing middle school may not require redesign/relocation; however, the Traffic Impact Study will determine if redesign or relocation would be necessary.

It should be noted that the WAVE transit system appears not to have routes along this section of Girby Road/Lloyds Lane. Therefore, the need for sidewalks may not be a factor for requiring sidewalks at this time. However, since the Traffic Impact Study references the existence of foot traffic to the school, it may be smart planning to locate sidewalks along Lloyds Lane if construction of a sidewalk is not an engineering difficulty.

The applicant is proposing a “multi-family” PUD residential development, and consequently, PUD landscape area requirements apply. Section 64-5.C.2. of the Zoning Ordinance requires 700 square feet of open space per dwelling unit, which cannot include streets, drainageways, parking areas, service areas and land covered by buildings. Furthermore, compliance with the tree and landscaping requirements of the Zoning Ordinance will be required due to the proposed B-2 zoning of the site. Information on the site plan indicates that adequate area will be available for compliance with the landscaping requirements of the Zoning Ordinance. Additional information regarding compliance with the tree requirements must be submitted with the request for permits to develop the site.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

### **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, the PUD request is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process prior to application for building/Land Disturbance permits;
- 2) the placement of a note on the site plan stating that this access will remain closed and only used by emergency vehicles only;

- 3) provision of a revised PUD site plan to the Planning Section prior to signing of the Final Plat; and
- 4) full compliance with all other municipal codes and ordinances.

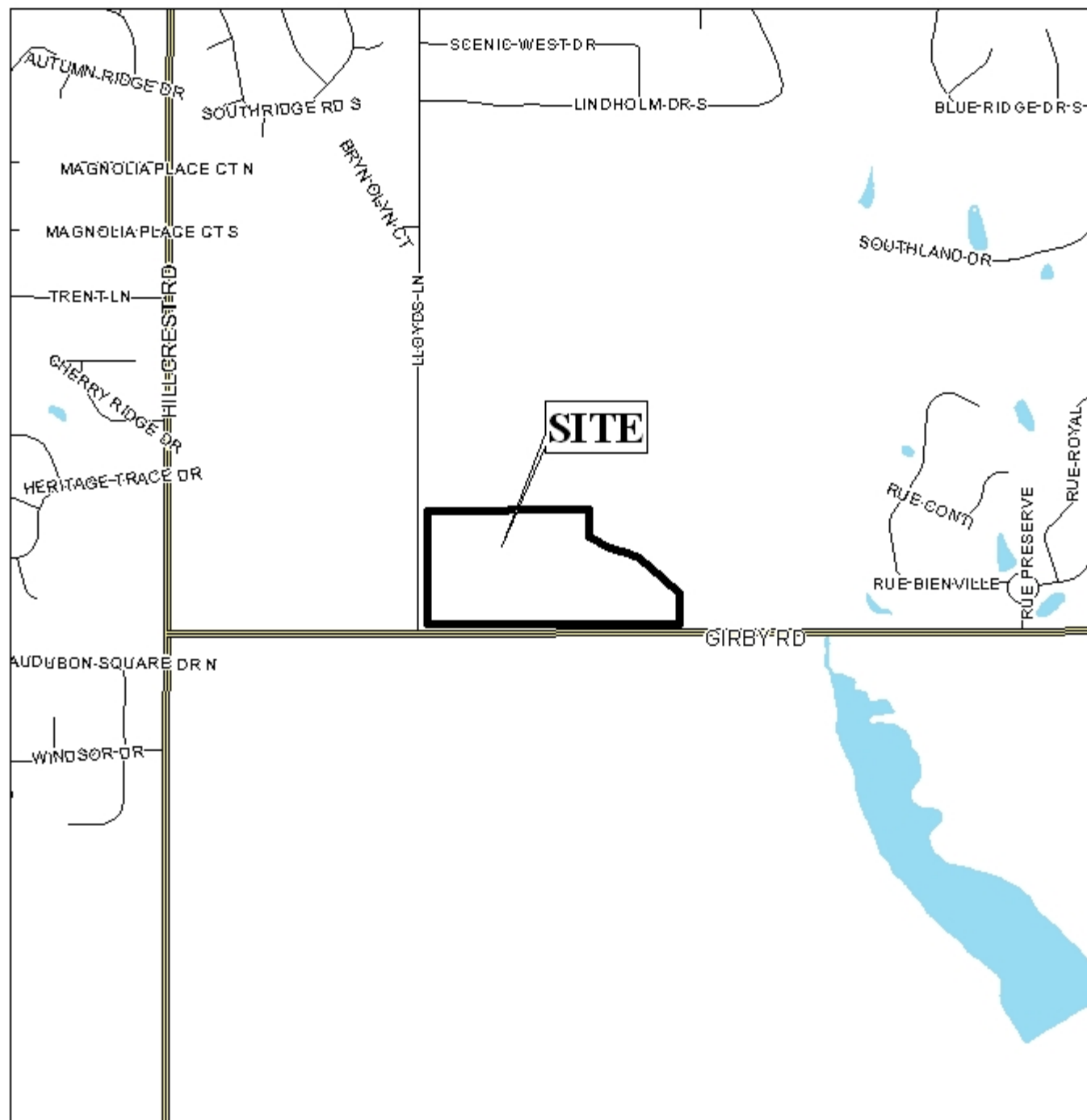
**Subdivision:** Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the development is limited to the one curb cut along Girby Road, and two curb-cuts, to Lloyds Lane, with the size, design and location of **all** curb-cuts to be approved by Traffic Engineering and conform with AASHTO standards;
- 2) the placement of a note on the Final Plat stating that the emergency access on Lloyds Lane will remain closed and used by emergency vehicles only;
- 3) the labeling of the lot with its size in square feet, or placement of a table on the plat with the same information;
- 4) provision of a revised PUD site plan to the Planning Section prior to signing of the Final Plat;
- 5) provision of a note stating that development of the site will be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) placement of a note on the Final Plat stating that the maintenance of the detention common area is the responsibility of the property owners; and
- 7) full compliance with all other municipal codes and ordinances.

**Sidewalk Waiver:** Based upon the preceding, this application for waiver of the sidewalk along Girby Road and Lloyds Lane should be approved, for the following reasons as stated in the Engineering Comments:

- 1) due to current open drainage ditch and steep slopes.

## LOCATOR MAP



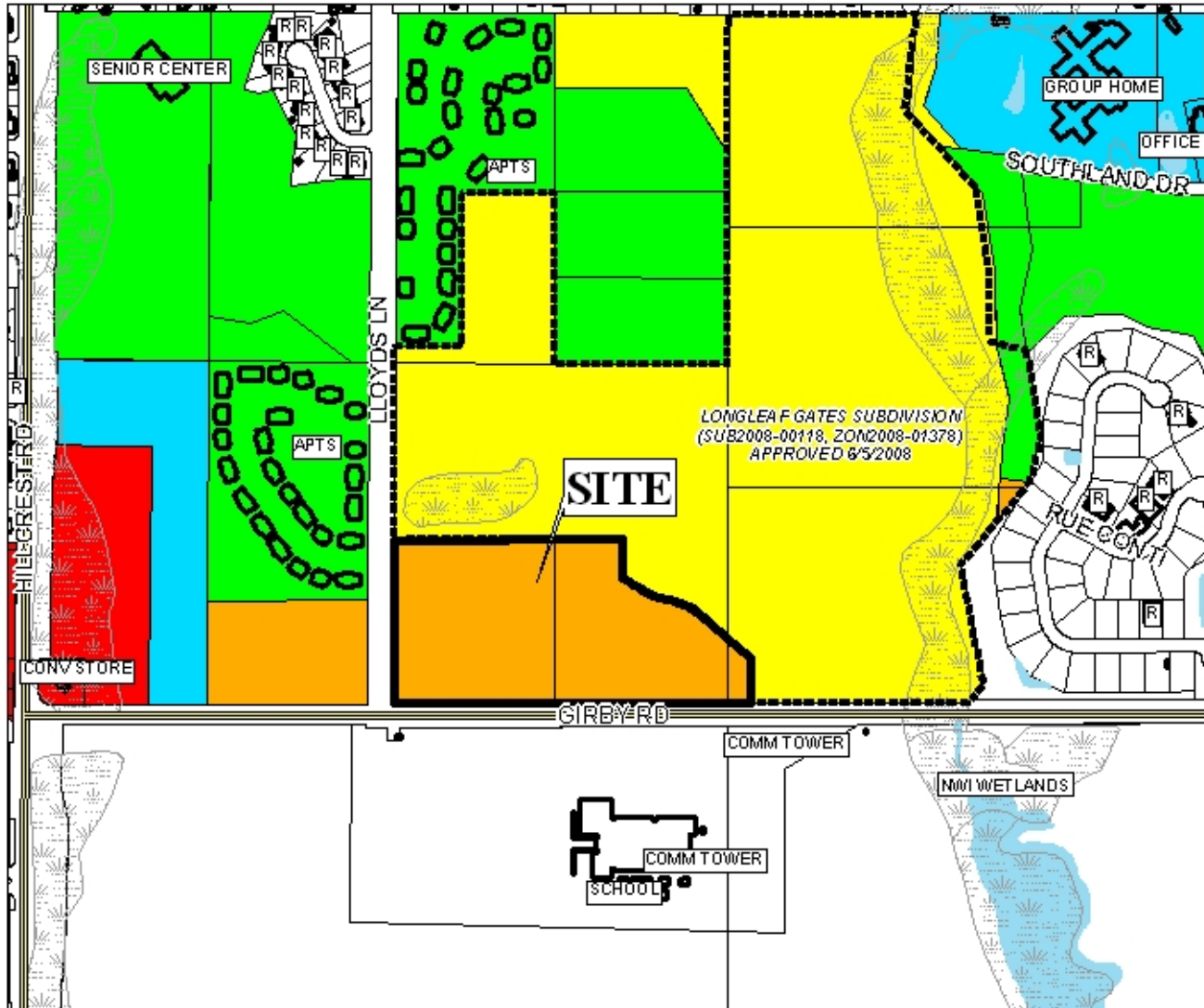
APPLICATION NUMBER 10, 11, 12 DATE January 8, 2009

APPLICANT Longleaf Pines Apartments

REQUEST Subdivision, Planned Unit Development, Sidewalk Waiver



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by miscellaneous land use.

APPLICATION NUMBER 10, 11, 12 DATE January 8, 2009

APPLICANT Longleaf Pines Apartments

REQUEST Subdivision, Planned Unit Development, Sidewalk Waiver

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

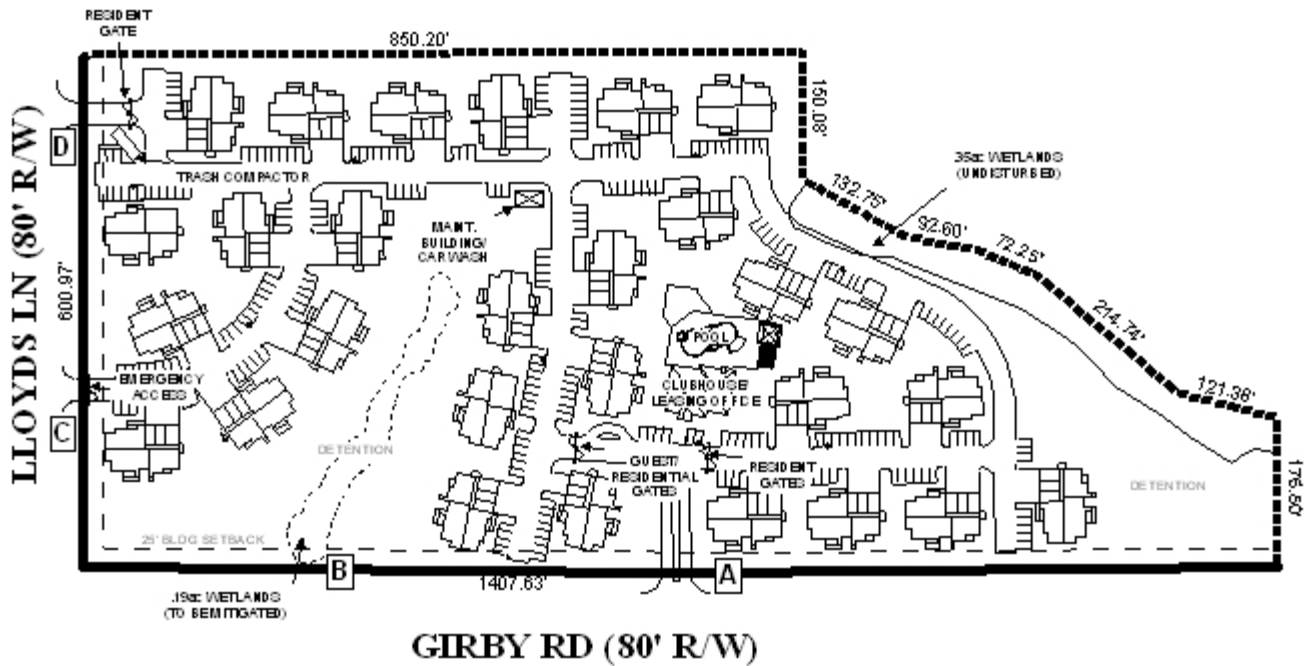


This site is surrounded by miscellaneous land use.

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# SITE PLAN



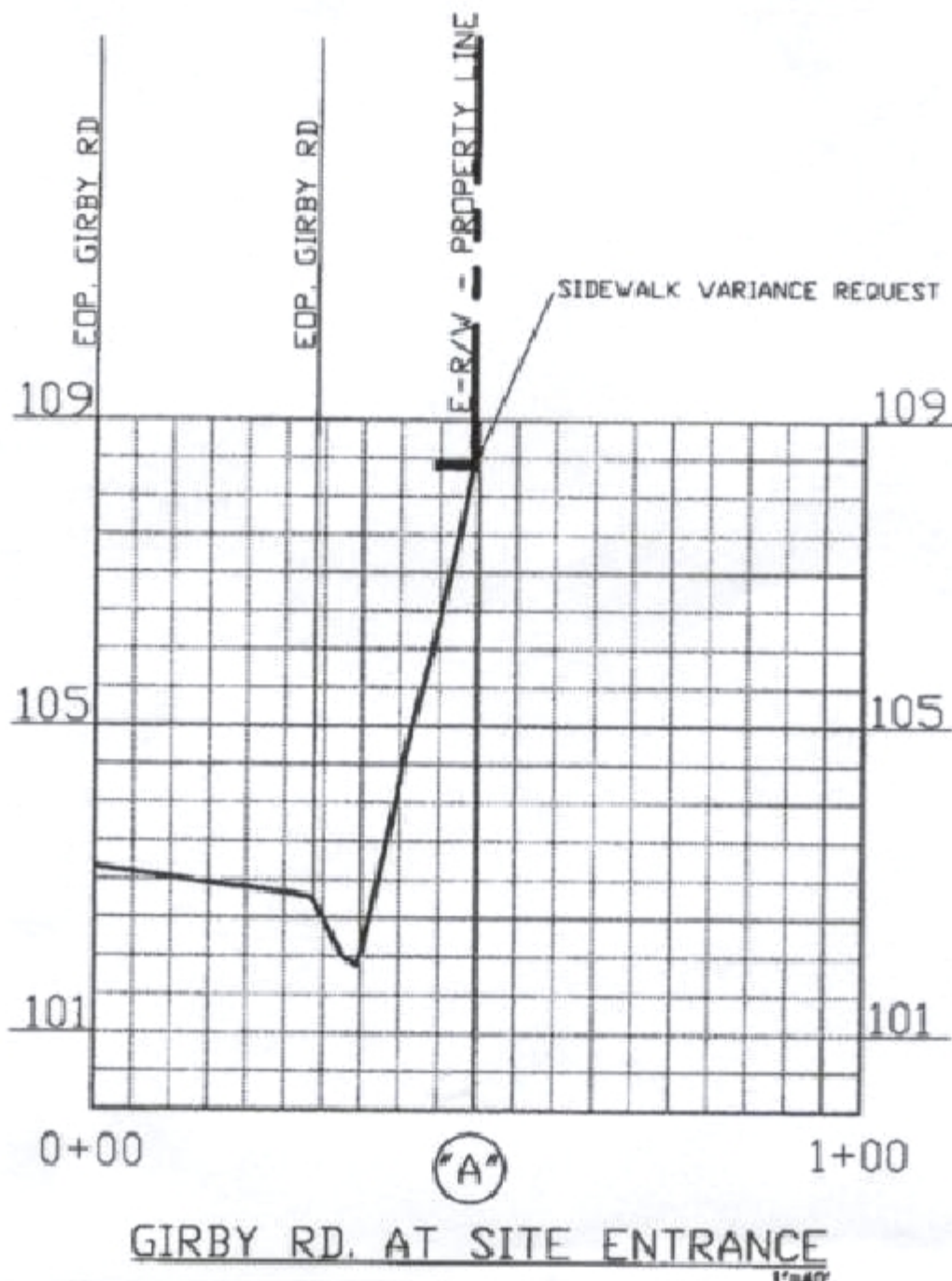
This site plan illustrates proposed lot configuration.  
See detail site for sidewalk cross-sections.

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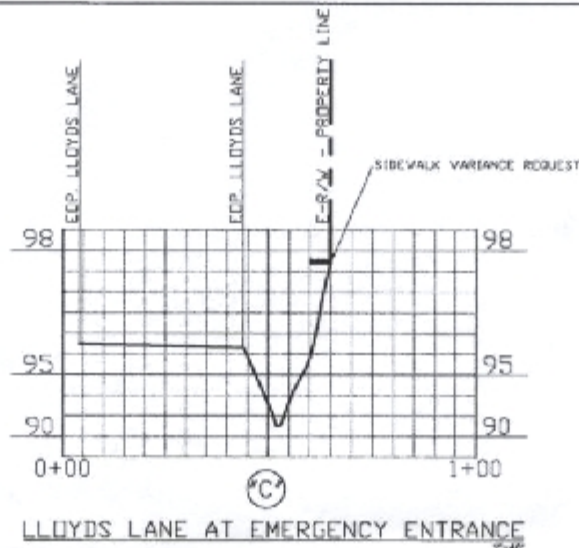
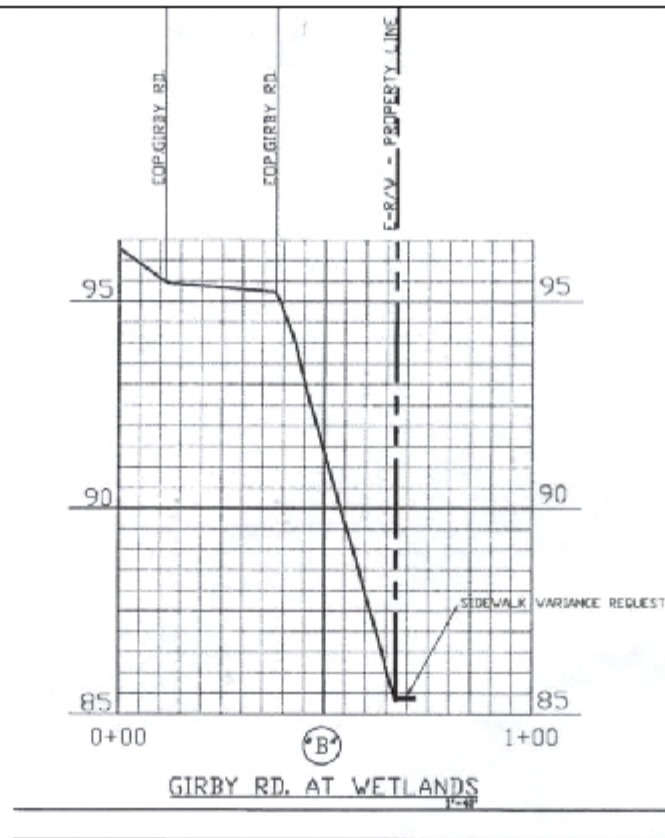
## DETAIL SITE PLAN 1



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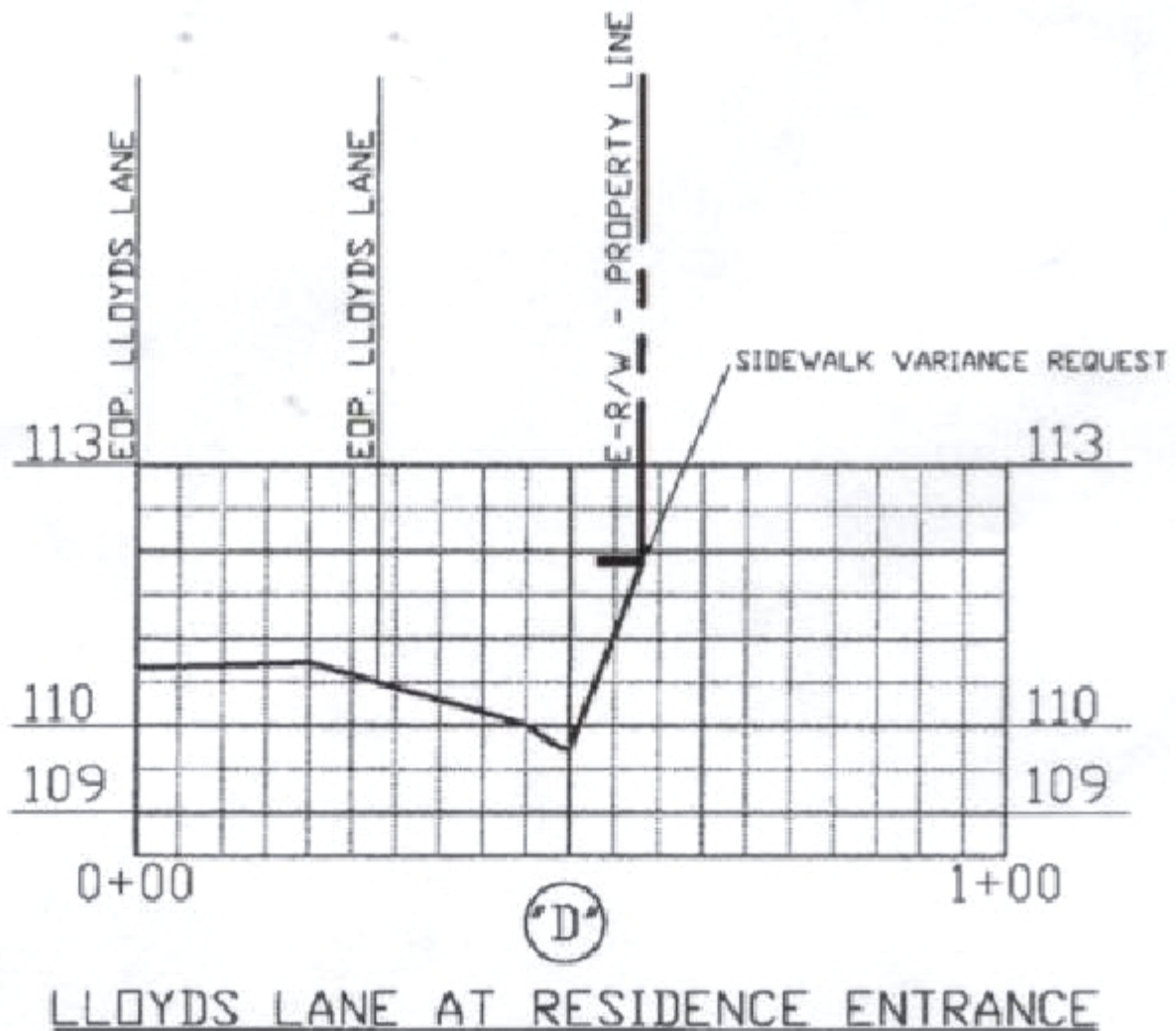
## DETAIL SITE PLAN 2



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N  
  
 NTS

## DETAIL SITE PLAN 3



APPLICATION NUMBER 10, 11, 12 DATE January 8, 2009  
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 REQUEST Subdivision, Planned Unit Development, Sidewalk Waiver

N  
  
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