

**PLANNED UNIT DEVELOPMENT,
SIDEWALK WAIVER REQUEST &
SUBDIVISION STAFF REPORT**

Date: December 21, 2006

DEVELOPMENT NAME Hallslee Subdivision

SUBDIVISION NAME Hallslee Subdivision

LOCATION 3757 Halls Mill Road
(Southwest corner of Halls Mill Road and Lees Lane)

**CITY COUNCIL
DISTRICT** 4

PRESENT ZONING I-1, Light Industrial

AREA OF PROPERTY 10.0± acres 3 Lots

CONTEMPLATED USE Shared Access Between Two Building Sites.
Request to Waive Construction of Sidewalk Along Lees Lane.

**TIME SCHEDULE
FOR DEVELOPMENT** Begin December 2006. Completion June 2007

**ENGINEERING
COMMENTS** Must tie storm water subsurface to City of Mobile storm drainage system; to concentrate storm water onto an adjacent property, a hold harmless agreement is required. Show drainage easement. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Sidewalk waiver along Lees Lane recommended for approval, based on presence of existing ditch.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Full compliance with

landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

REMARKS

The applicant is requesting subdivision approval to subdivide two existing parcels into three legal lots of record, two of which will have shared access through common ingress and egress areas to Halls Mill Road and Lees Lane. These areas will consist of all paved areas existing as a result of these approvals, or at any time in the future (as noted on the PUD site plan and the Preliminary Subdivision Plat). The applicant is also requesting waiver of sidewalk requirements along Lees Lane (a sidewalk is shown along the Halls Mill Road frontage).

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

While in general, the plan meets the requirements for Planned Unit Development Approval, because this approval is site plan specific there are a few points which must be addressed. First, Halls Mill Road is a collector Street, and as such requires a minimum right-of-way of 70'. With an existing right-of-way of 50', dedication to provide 35' from centerline should be required. Such a dedication will necessitate in a modification to the proposed site plan, shifting the proposed development to the South.

Another issue is the number and location of curb cuts to Halls Mill Road. As proposed, the two "center" curb cuts will be only approximately 55' apart. Given the overall PUD design, limiting the development to three curb cuts to Halls Mill Road, eliminating the existing easternmost curb cut would be appropriate, and could allow for expansion of the existing parking facility.

Also, the plan illustrates a landscaped area along the new connection between the sites and to the existing parking facility; however, no tree plantings are proposed in this area. It has been the practice of this Commission to require landscaping and tree planting for such areas on other similar projects.

The plan also illustrates the proposed dumpster along the Lees Lane property line, within the required setback. The Zoning Ordinance specifically prohibits such a location for a dumpster. Additionally, the plan denotes a privacy fence to screen the dumpster, as required. However, again, it is located within the required setback.

As stated earlier, the site is located at the intersection of Halls Mill Road and Lees Lane; however, a radius is not provided. Given the acute angle of the intersection, the fact that the paving for the intersection actually touches the point of the property line intersection,

and the potential visibility and safety issues of this intersection, the dedication of an appropriate radius should be required.

With regard to the Sidewalk Waiver request, the application states that the reason for the waiver is that “the East edge of a 4-foot wide sidewalk along Lees Lane would be located against the top of an existing 12-inch deep concrete ditch, which would pose a safety hazard to pedestrians. Comments from City Engineering support this statement, as do the cross sections provided with the application.

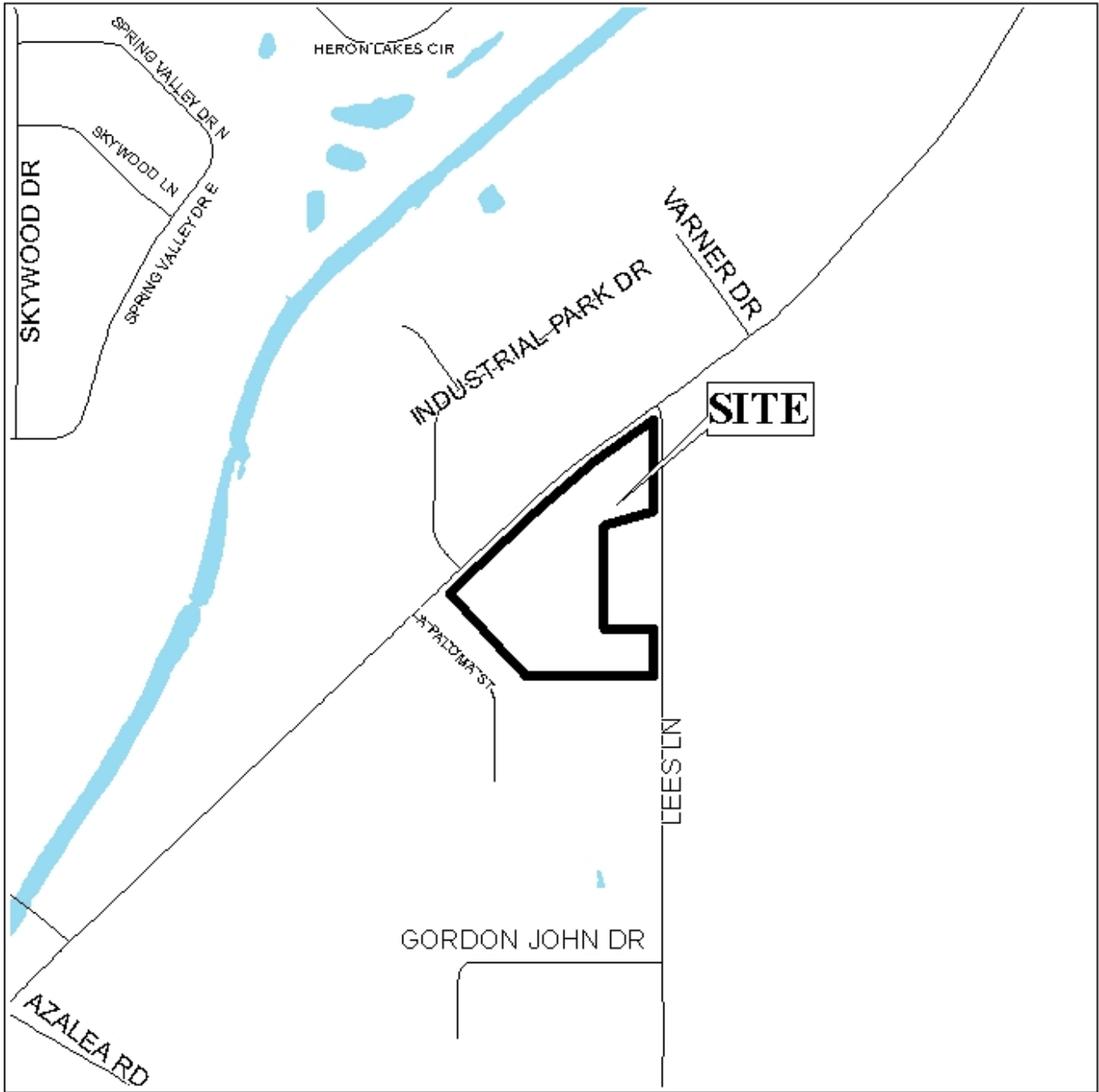
The application makes no reference to a waiver request along Halls Mill Road, and in fact, the plan illustrates a sidewalk along Halls Mill Road. Further, if dedications are required as discussed above, there would be more than adequate room for sidewalk construction.

RECOMMENDATION **Subdivision:** Based on the preceding, the application is recommended for Holdover until the January 18th Meeting to allow revision of the plat to reflect dedication along Halls Mill Road (10’) and dedication of an appropriate radius at the intersection of Halls Mill Road and Lees Lane, to be coordinated with Traffic Engineering and City Engineering. Revised materials must be submitted by December 29th.

Planned Unit Development: Based on the preceding, the application is recommended for Holdover until the January 18th Meeting to allow the applicant to submit a revised plan that addresses the following: dedication along Halls Mill Road (10’); dedication of an appropriate radius at the intersection of Halls Mill Road and Lees Lane, to be coordinated with Traffic Engineering and City Engineering; modification of proposed improvements to accommodate the required dedications; elimination of the Easternmost existing curb cut; provision of tree plantings along Halls Mill Road for the new connection between the sites and to the existing parking facility; and, relocation of the dumpster to comply with required setbacks from Lees Lane. Revised materials must be submitted by December 29th.

Sidewalk Waiver Request: Based on the preceding, the application is recommended for Holdover until the January 18th Meeting to be considered with accompanying Subdivision and Planned Unit Development.

LOCATOR MAP



APPLICATION NUMBER 10 & 11 & 12 DATE December 21, 2006
APPLICANT Bullwinkle, L.L.C.
REQUEST Subdivision, Planned Unit Development, Sidewalk Waiver



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by mixed land use

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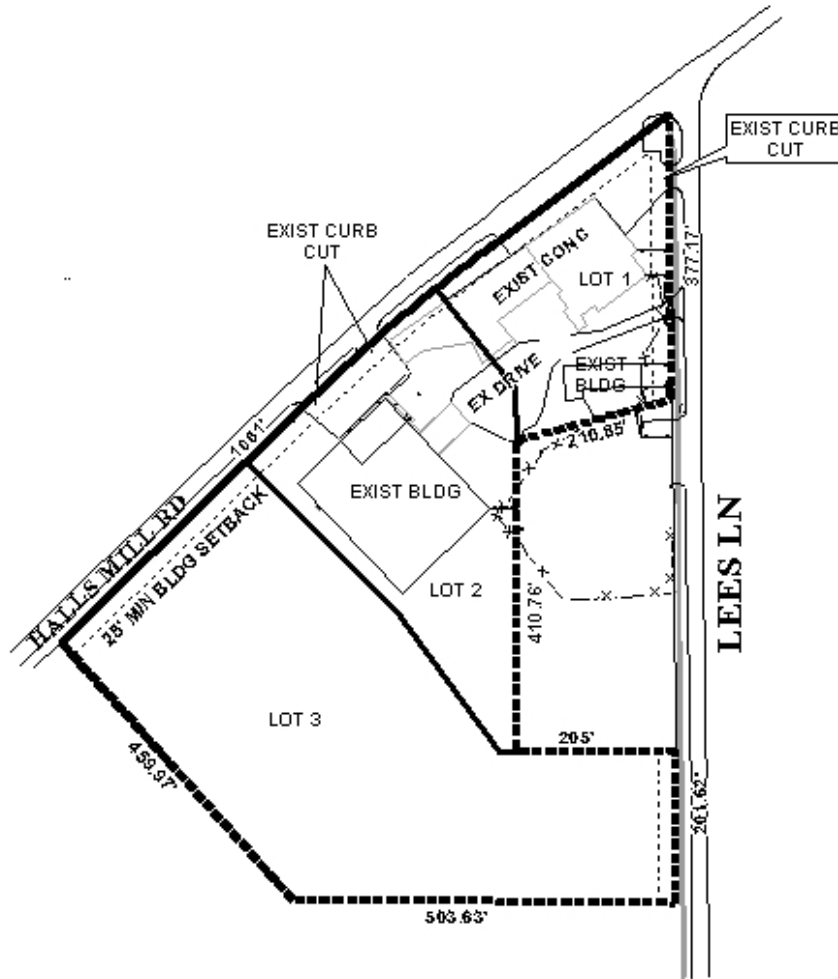
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LEGEND															NTS
	R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	



SITE PLAN



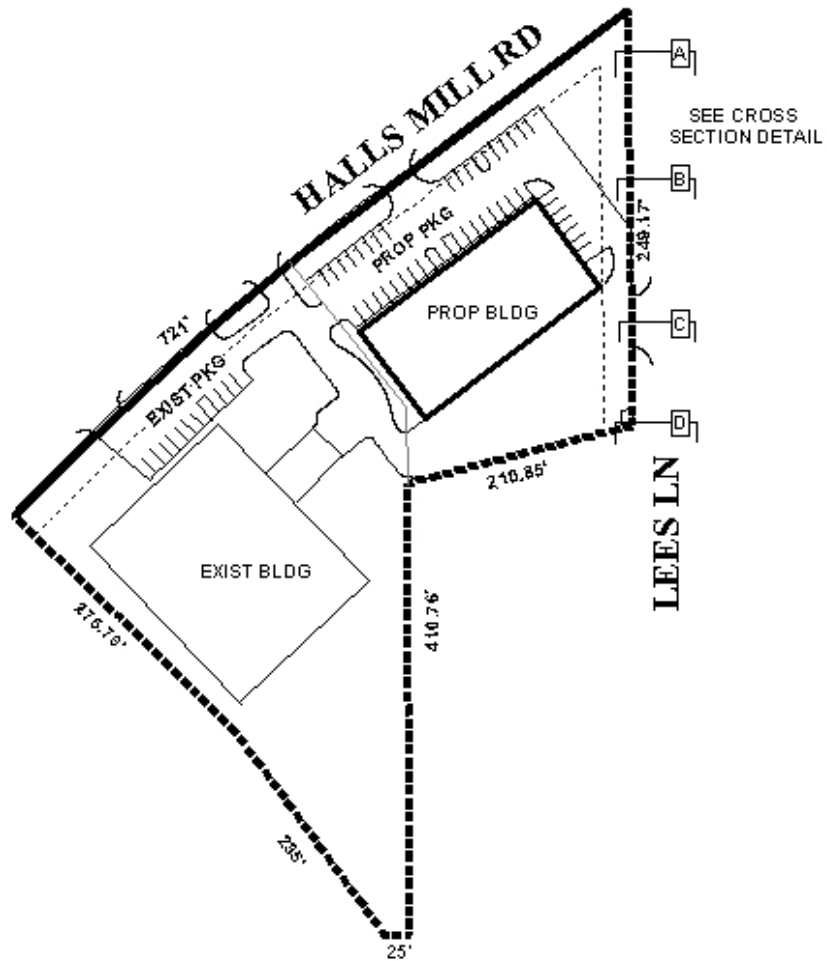
The site plan illustrates the existing improvements and proposed lot configuration

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DETAIL SITE PLAN



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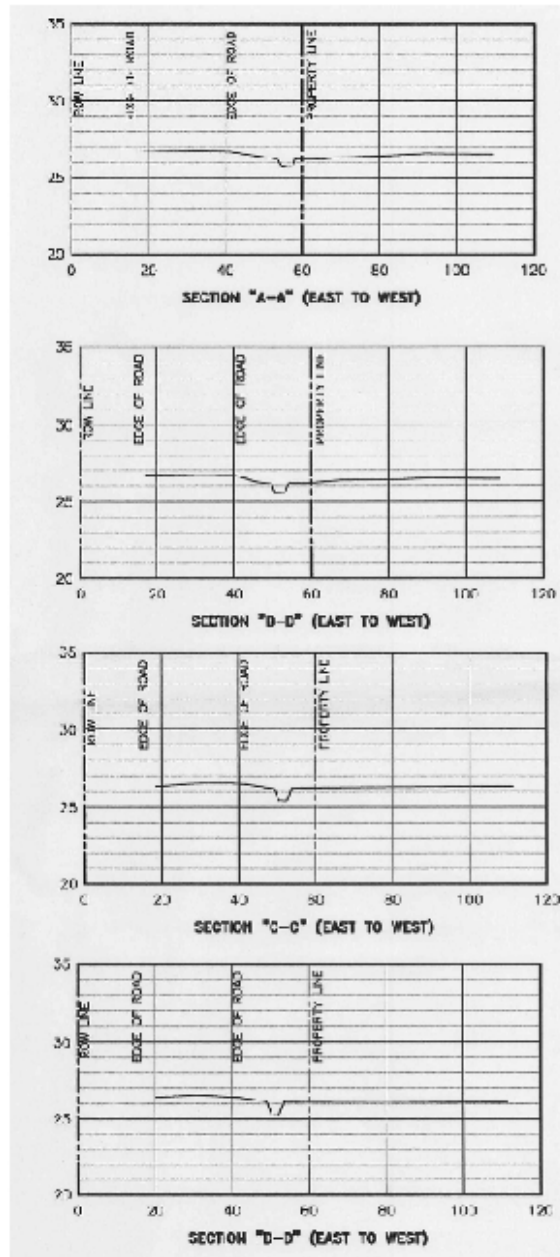
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SIDEWALK CROSS-SECTION DETAIL



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