

DAWES LAKE TRACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 10.0 \pm acres, 20 lot subdivision which is located on the West side of Dawes Lake Road at its North terminus. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide a metes and bounds parcel into 20 lots.

As proposed, Lots 1 and 20 would have frontage along Dawes Lake Road and the new street; therefore, the placement of a note on the final plat stating the Lots 1 and 20 are denied direct access to Dawes Lake Road, should be required.

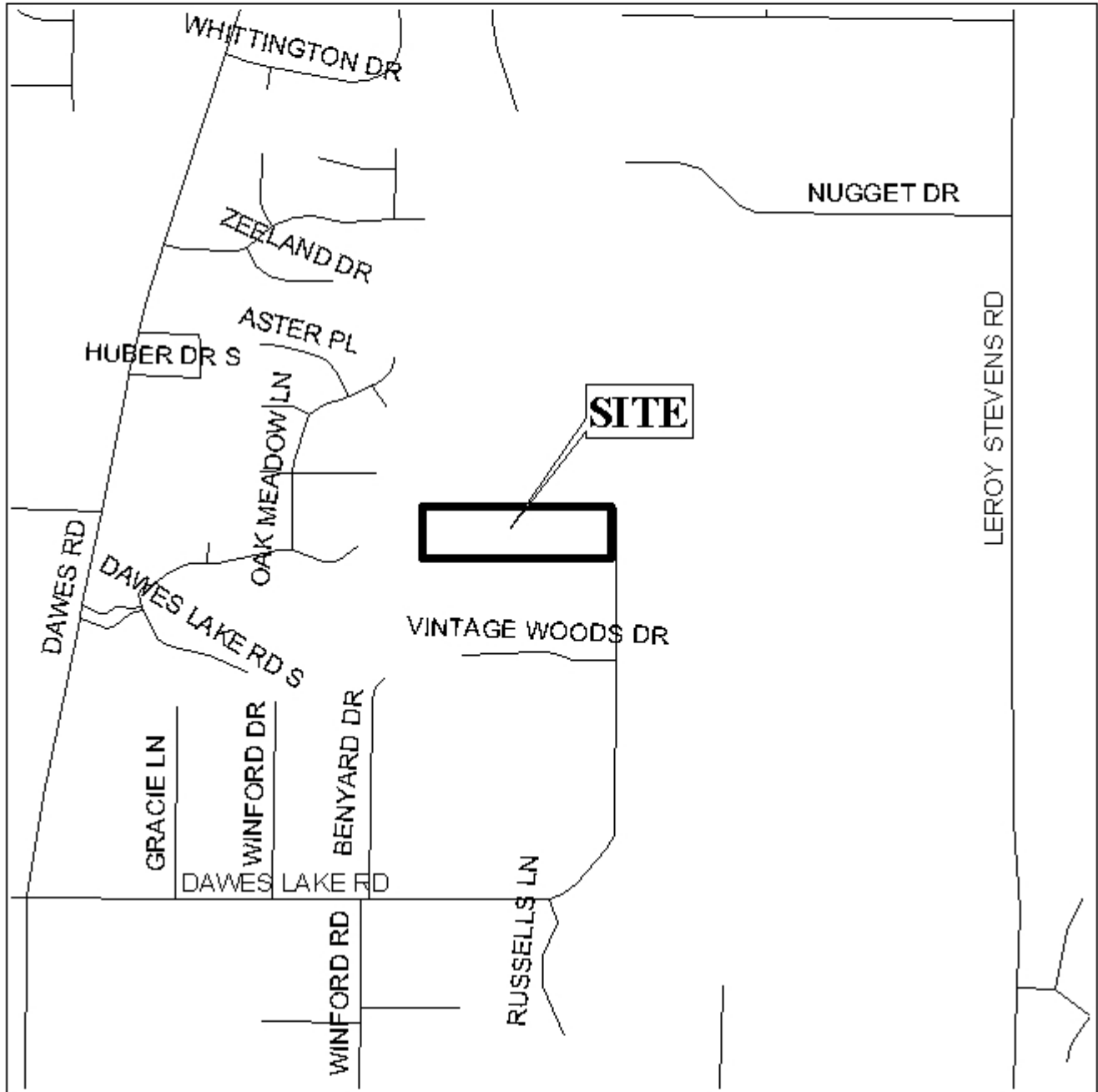
The Subdivision Regulations state that a closed end street shall not be longer than 600'. Section V.B.1 also states that street stubs shall be provided to large undeveloped tracts of land. As proposed, the closed end street is approximately 1,297' long; therefore, a street stub to the North, between Lots 4-7, should be required. It should be noted that the large parcel to the North is undeveloped and does not have enough road frontage to allow the construction of a road. A similar subdivision was approved South of this site (Vintage Woods Subdivision) in 1988. The difference between this application and Vintage Woods is that Vintage Woods was not adjacent to a large undeveloped tract of land.

It should be noted that the applicant is providing a traffic calming device. The traffic calming device is not labeled as common area and thus should be labeled as such. In addition, the placement of a note on the final plat stating that the common area is the responsibility of the property owners, should be required.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially, and adjoin residentially developed property, must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

With modifications, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) the placement of a note on the final plat stating the Lots 1 and 20 are denied direct access to Dawes Lake Road; 2) the provision of a street stub to the North located between Lots 4-7; 3) location and design of the traffic calming device to be approved by County Engineering; 4) the traffic calming device be labeled as common area with a note placed on the plat stating that the maintenance of the common area is the responsibility of the property owners; and 5) the placement of a note on the final plat stating that if any property is developed commercially and adjoins residential property, a buffer in compliance with Section V.A.7. of the Subdivision Regulations, will be provided.

LOCATOR MAP



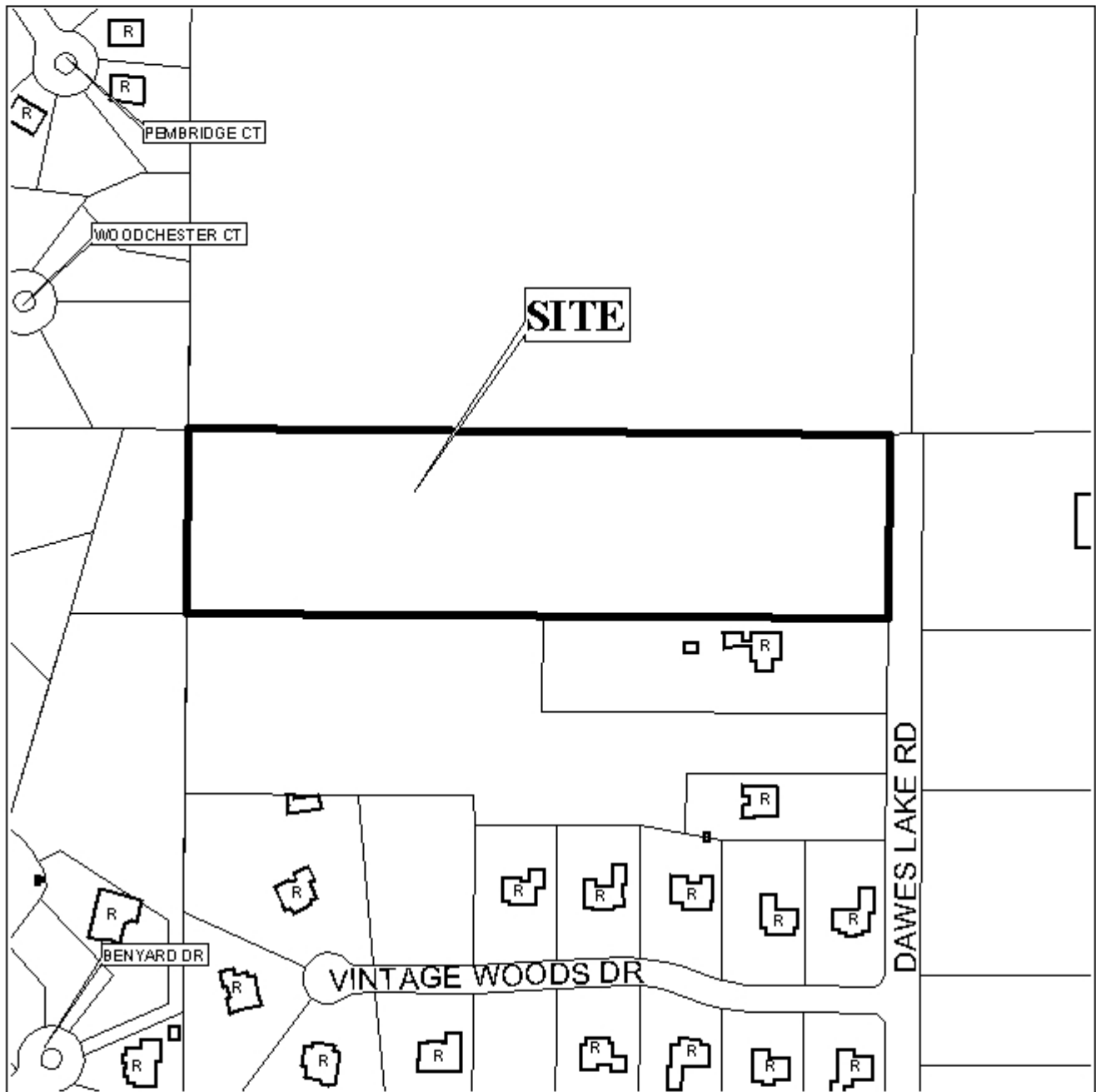
APPLICATION NUMBER 10 DATE April 15, 2004

APPLICANT Daves Lake Trace Subdivision

REQUEST Subdivision



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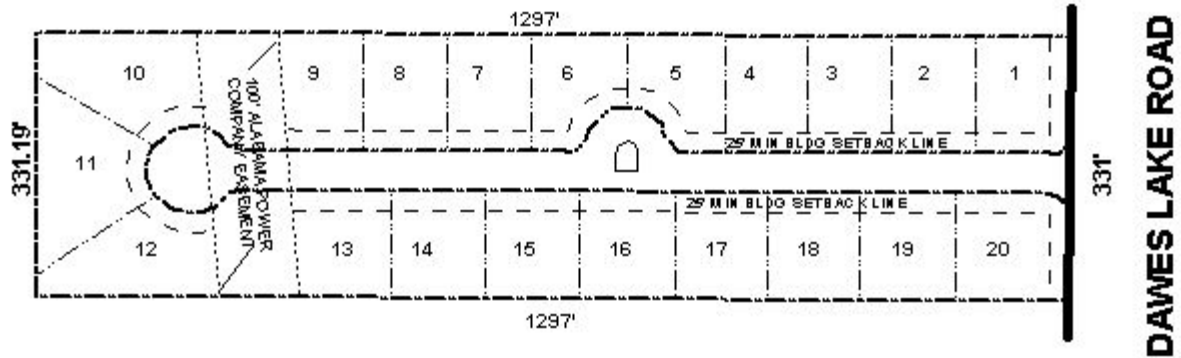
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2		



NTS

SUBDIVISION PLAN



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APPLICANT Dawes Lake Trace Subdivision

USE/REQUEST Subdivision



