

**PLANNING APPROVAL STAFF REPORT****Date: July 7, 2005****NAME**

Tower Resource Management, Inc.

**LOCATION**6200 Grelot Road  
(North side of Grelot Road, 790 feet  $\pm$  east of Hillcrest Road)**CITY COUNCIL  
DISTRICT**

District 6

**PRESENT ZONING**

B-2, Neighborhood Business

**AREA OF PROPERTY**Tower Lease Area: 2,014 square feet  $\pm$   
Lot Area: 0.89 acres  $\pm$ **CONTEMPLATED USE**

180-foot tall monopole communications tower

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING****COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

**REMARKS**

The applicant is seeking Planning Approval to allow a communications tower in a B-2, Neighborhood Business district. Such towers are permitted “by-right” in industrially zoned districts, with Planning Approval in commercially-zoned districts, and are prohibited in residentially-zoned districts.

The review required for Planning Approval examines the applicant’s location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

The Zoning Ordinance states that communication towers in B-2 districts are limited to a maximum height of 45 feet, and that setbacks on all sides should be equal to the height of the tower. The Ordinance additionally requires that towers be separated a minimum distance of the greater of 200 feet or 150% of tower height from residentially-zoned property.

The project consists of the construction of a 180-foot tall monopole cellular communications tower that is designed to serve five different cellular service providers. The proposed location is in a B-2, Neighborhood Business district, on a site that will be leased from an existing self-storage facility. Within 200 feet of the tower site are general retail and vacant land uses, in B-2 and B-3 districts. Residentially-zoned property occurs a minimum of 300 feet east of the tower site, although the two nearest residentially-zoned properties are currently used for a church and a funeral home. No residential uses occur less than 350 feet from the site.

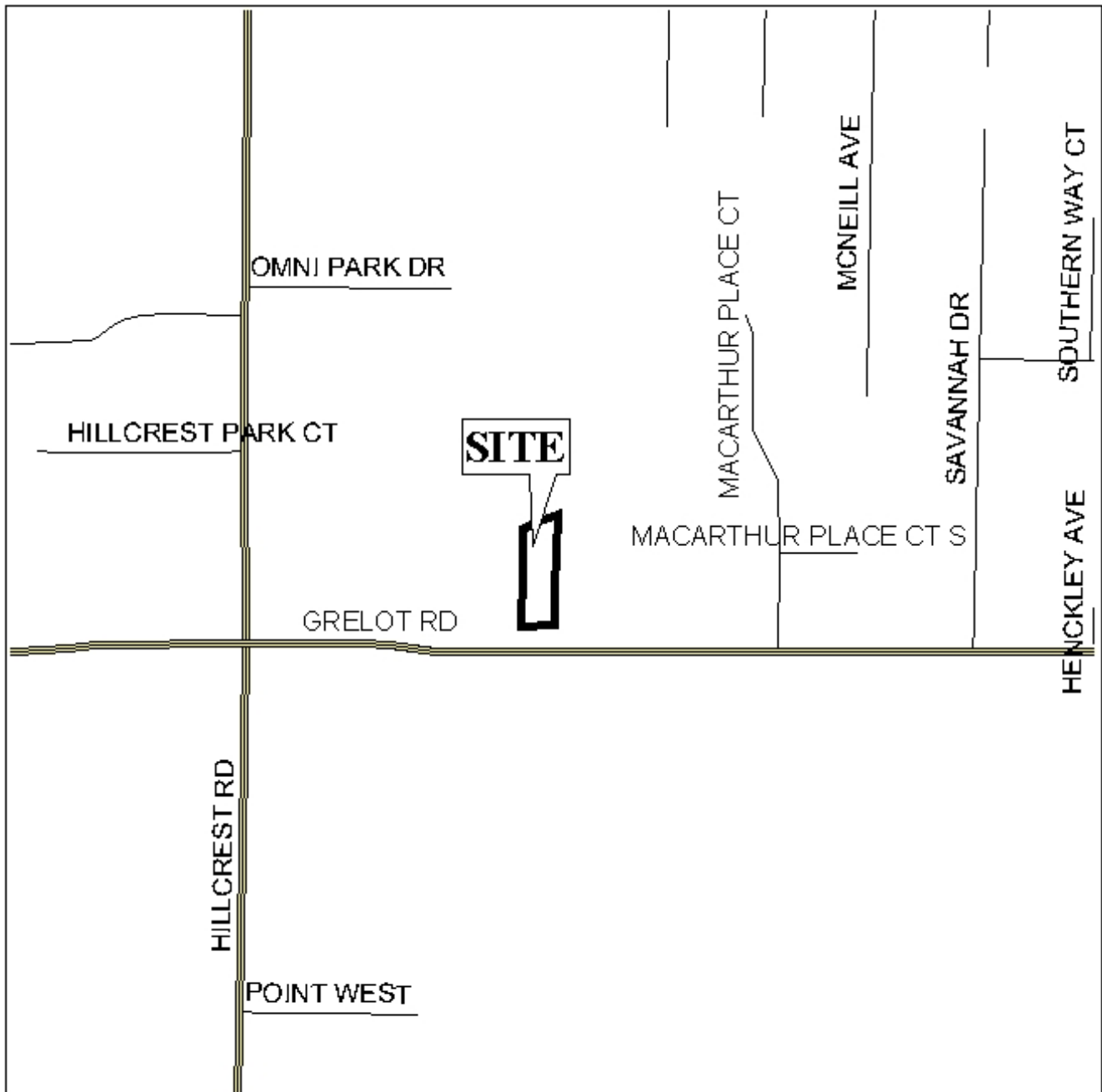
The applicant states that the location and tower height have been chosen to fill in coverage requirements for multiple providers, and that no “by-right” locations are available in the vicinity. As proposed, the tower will require Board of Zoning Adjustment approval for reduced setbacks and a maximum tower height of 180 feet.

Aside from the height and setback issues, the proposed tower should have no significant impacts related to transportation, parking, access, public utilities or traffic congestion. Furthermore, the proposed location of the tower minimizes potential impacts to adjacent residential uses.

**RECOMMENDATION**

**Planning Approval:** based on the preceding, it is recommended that the communications tower be approved, subject to the following conditions: 1) approval of the requested height and setback modifications by the Board of Zoning Adjustment; and 2) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



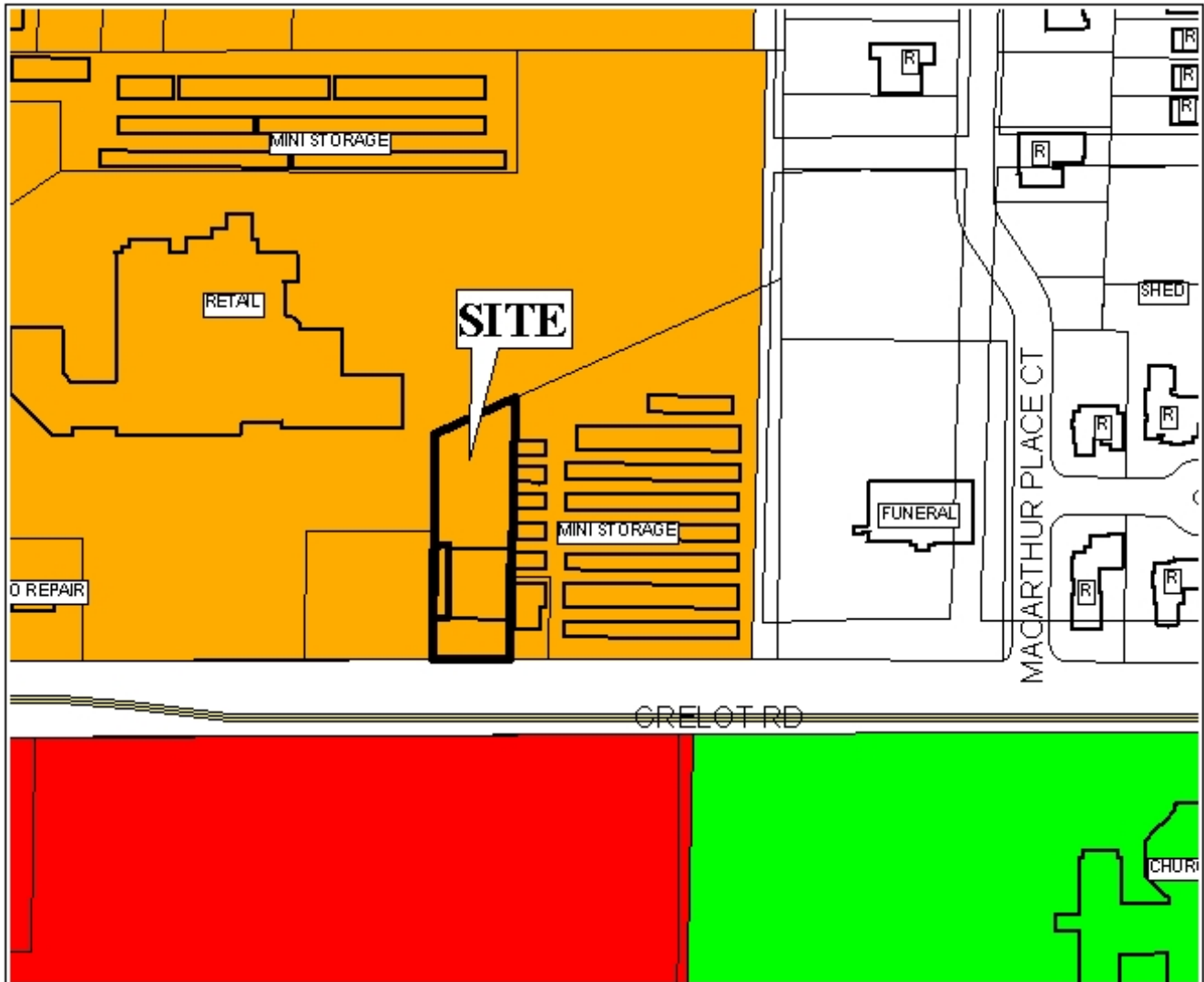
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APPLICANT Tower Resource Management, Inc.

REQUEST Planning Approval



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous businesses.

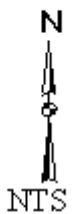
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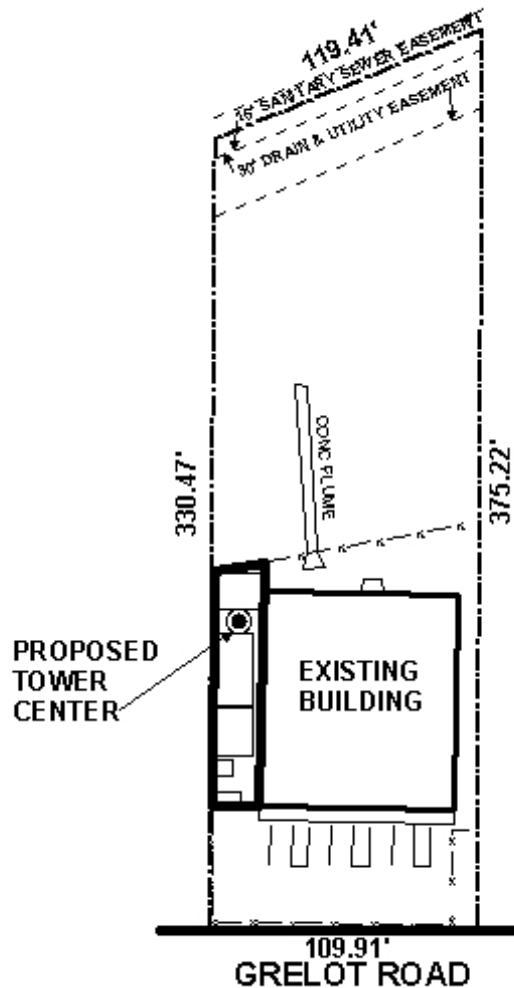
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LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# SITE PLAN

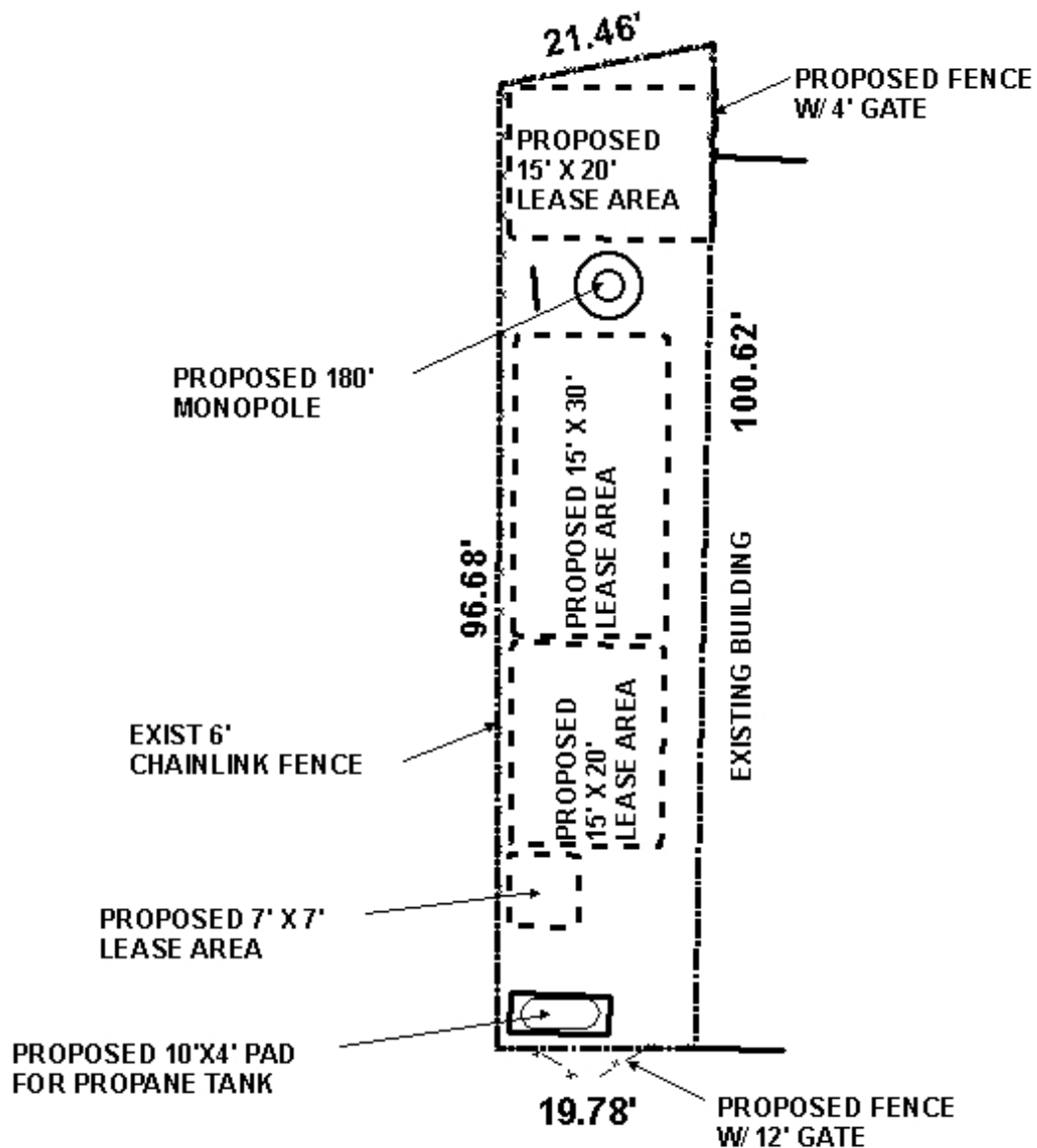


The site is located on the North side of Grelot Road, 790' East of Hillcrest Road. The plan illustrates the existing structure, parking, and proposed tower location.

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# DETAIL SITE PLAN



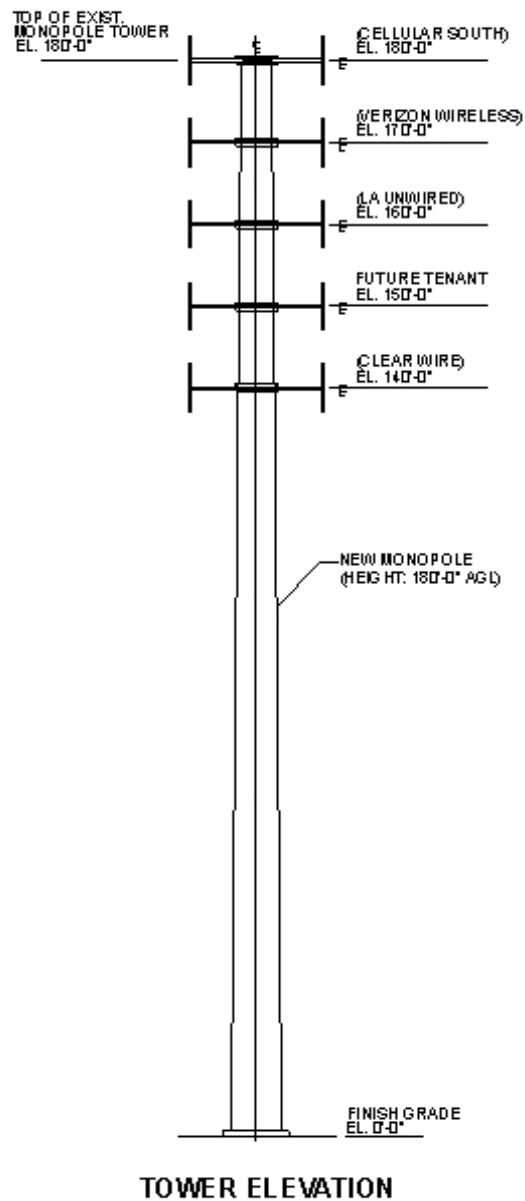
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# TOWER ELEVATION



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