

**SUBDIVISION, PLANNED UNIT DEVELOPMENT,
PLANNING APPROVAL, &
SIDEWALK WAIVER STAFF REPORT****Date: June 2, 2016**

<u>NAME</u>	Word of God Church
<u>SUBDIVISION NAME</u>	Word of God Church Subdivision
<u>LOCATION</u>	6455 & 6459 Overlook Road (South side of Overlook Road, at the South terminus of Godwin Lane).
<u>CITY COUNCIL DISTRICT</u>	District 7
<u>PRESENT ZONING</u>	R-1, Single Family District
<u>AREA OF PROPERTY</u>	3.3± Acre
<u>CONTEMPLATED USE</u>	Subdivision approval to create one legal lot of record; Planned Unit Development to allow multiple buildings on a single building site with shared access and parking; and, Planning Approval to allow the expansion of an existing church in an R-1, Single Family Residential District.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not Specified
<u>ENGINEERING COMMENTS</u>	

Subdivision:

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- C. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- D. Show and label each and every Right-Of-Way and easement.
- E. Provide and label the monument set or found at each subdivision corner.

- F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- G. Provide the Surveyor's Certificate and Signature.
- H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- K. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- L. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.

Planned Unit Development:**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Planning Approval:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of

Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).

2. *A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.*
3. *Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
4. *The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.*
5. *The proposed development must comply with all Engineering Department design requirements and Policy Letters.*

Sidewalk Waiver:

It appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING

COMMENTS

Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

REMARKS

The applicant is requesting Planned Unit Development to allow multiple buildings on a single building site with shared access and parking, and Subdivision approval to create one legal lot of record in an R-1, Single Family Residential District.

The applicant proposes to redevelop the existing church site in three phases, replacing the two existing buildings with four new buildings.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the PUD reviews are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for PUD application will be required.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The plat illustrates the proposed 1-lot subdivision which is sited on the South side of Overlook Road, at the South terminus of Godwin Lane within Council District 7. The applicant states that the Subdivision's water and sanitary facilities are *existing*; however, more information is needed regarding the entity (or entities) that provide services for such facilities. For instance, the property could be served by public water and individual septic systems. The applicant should revise the application or provide a written statement to indicate the providers for both water and sanitary sewer services.

The site is located on Overlook Road, a minor street without curb and gutter. As a minor street without curb and gutter, this street requires a 60' right-of-way width; however, the right-of-way width for Overlook Road has not been depicted on the preliminary plat. The Final Plat, if approved, should be revised to reflect dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary.

The 25-foot minimum setback line is not indicated on the preliminary plat. If approved, the Final Plat should be revised to depict the 25-foot minimum building setback line along the property.

As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to the one curb cut to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat should be revised to provide the lot size information in both square feet and in acres.

The entire site appears to be depicted as a Suburban Neighborhood, per the recently adopted Map for Mobile Plan. The intent of a Suburban Neighborhood area is to allow for:

- Emphasize connectivity to surrounding neighborhoods and close service and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the Plan allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, zoning classification.

The subject site currently consists of two one-story brick buildings with two asphalt access driveways leading into the property. The applicant wishes to develop the site within three phases, with a total of four buildings. The first phase, the basis of this application, will involve the construction of an 80' x 100' pre-engineered metal building that will function as a multi-purpose/dining hall, and will be equipped with a kitchen, restrooms, and a small gym. The two existing brick one-story buildings will remain at this time.

According to the applicant, Phases 2 and 3 will involve the construction of three additional buildings, increasing the parking area, and removing the two existing one-story brick buildings from the subject site. As previously mentioned, the construction of additional buildings, increased parking, and the removal of the two existing buildings will require a new PUD application for each phase of development. No timeline has been given as to the specifics of each construction phase.

The subject site is currently zoned R-1, Single Family Residential, but the use of the site as a church or religious facility, which is inclusive of a parish house, community house, and educational buildings, requires Planning Approval in R-1 zoned districts. The subject site received Planning Commission approval in 1997 to allow an addition to the existing church structure for a gift shop and educational facility; however, if the site will continue to be used as a church, the applicant will need to submit a new Planning Approval application due to the change of site plan and expansion of facilities.

The proposed development appears to be compliant as it relates to site coverage; however, the site plan should be revised to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance. Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.

The site plan illustrates that 86 parking spaces will be provided to accommodate the existing and proposed buildings on the subject property. The applicant states that there will be 297 seats in the church, requiring 74 parking spaces, but there is no mention of the proposed use for all buildings to be on the site. The applicant should revise the site plan to indicate the use of all proposed buildings on site so that staff can determine if it will comply with the Zoning Ordinance. Most of the parking spaces indicate wheel stops to prevent encroachment into landscaped areas, sidewalks, and buildings. It should be noted that the parking area must also provide lighting in compliance with Section 64-6.A.3 of the Zoning Ordinance at time of permitting.

The access widths, aisle widths, and parking space dimensions are all in compliance with the Zoning Ordinance; however, the one-way drives to the new structure may not comply with the 2012 International Fire Code minimum of 20 feet.

The 25' minimum building set back line is not depicted on the site plan, and should be illustrated on the revised site plan, adjusted for dedication.

As a means of access management, a note should be required on the revised site plan stating that the site is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The location and dimensions of the proposed HVAC mechanical equipment for the proposed structure are not illustrated on the site plan. The site plan should be revised to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance.

The site plan does not indicate the method of garbage collection for the subject site. The site plan should be revised to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, the placement of a note on the site plan indicating such, or a note should be indicated on the site plan stating that garbage collection will be provided by curbside or private garbage collection services if a dumpster will not be provided.

A sidewalk is not depicted and labeled along the property's frontage on the site plan. If a sidewalk is not being proposed within the development of this site then a sidewalk waiver must be obtained, or a sidewalk must be provided and be clearly indicated on the site plan.

RECOMMENDATION

Subdivision: Based on the preceding, this application is recommended for holdover to the meeting of July 7, 2016 with revisions due by June 10th, to allow the applicant to address the following items:

- 1) Submittal of a Planning Approval application by June 7th;
- 2) Revision of the application or provision of a written statement to indicate the providers for both water and sanitary sewer services;

- 3) Dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary;
- 4) Revision of the Final Plat to depict the 25-foot minimum building setback line;
- 5) Placement of a note on the Final Plat stating that the lot is limited to one curb cut to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) Revision of the Final Plat to illustrate the lot size in both square feet and in acres;
- 7) Subject to the Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
 - A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.*
 - B. *Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.*
 - C. *Provide a written legal description for the proposed subdivision and matching bearing and distance labels.*
 - D. *Show and label each and every Right-Of-Way and easement.*
 - E. *Provide and label the monument set or found at each subdivision corner.*
 - F. *Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.*
 - G. *Provide the Surveyor's Certificate and Signature.*
 - H. *Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*
 - I. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
 - J. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.*
 - K. *Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.*
 - L. *After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.);*
- 8) Subject to the Traffic Engineering comments: *(Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) Subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).]; and*
- 10) Subject to the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).].*

RECOMMENDATION

Planned Unit Development: Based on the preceding, this application is recommended for holdover to the meeting of July 7, 2016 with revisions due by June 10th, to allow the applicant to address the following items:

- 1) Submittal of a Planning Approval application by June 7th;
- 2) Provision of a written statement to indicate the timeline for construction;
- 3) Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance;
- 4) Revision of the site plan to illustrate the 25' minimum building set back line;
- 5) Revision of the site plan to illustrate curbing or bumper stops for each parking space abutting landscaped area;
- 6) Revision of the site plan to indicate the proposed use of each building on the site;
- 7) Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6A.8. of the Zoning Ordinance.
- 8) Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;
- 9) Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer, curbside, or private collection services in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;
- 10) Revision of the site plan to include a sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;
- 11) Placement of a note on the site plan stating that the PUD is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
- 12) Subject to the Engineering comments: *ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*

- 13) Subject to the Traffic Engineering comments and placement of a note stating: *(Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 14) Subject to the Urban Forestry comments and placement of a note stating: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 15) Subject to the Fire Department comments and placement of a note stating: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).); and*
- 16) Revision of the site plan to reflect 2012 IFC access requirements.

Revised for the July 7th meeting:

This application was heldover from the June 2nd meeting to allow the applicant sufficient time to submit an application for Planning Approval, to revise the Subdivision Application or provide a written statement indicating the providers for both water and sanitary sewer services, in addition to addressing any required revisions to the site plan.

The applicant is requesting Planning Approval to allow the expansion of an existing church in an R-1, Single Family Residential District. Planning Approval is required for a church in an R-1, Single Family Residential District. The site is bounded by R-1, Single Family Residential to the North, East, West, and South, which primarily consist of single-family homes. The subject site last received Planning Commission approval in 1997 to allow an addition to the existing church structure for a gift shop and educational facility; however, since the site will continue to be used as a church, and the applicant is proposing to change the site layout by expanding the number of buildings on site and increasing the parking area, it requires that the applicant seek Planning Approval.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for Planning Approval.

As previously mentioned, the applicant is proposing to expand their existing church facilities from two existing one story brick buildings to four new buildings constructed over the course of

three phases. The first phase of construction consists of constructing a new 8,000 square foot multi-purpose facility to the South of the two existing one story buildings.

In Phases 2 and 3, the applicant proposes to demolish the two existing one story brick buildings and proposes to construct three additional structures that would consist of a 3,600 square foot building, a 4,000 square foot building, and a 1,580 square foot building. It should be noted that the applicant still has not provided a timeline for each phase of construction, and one should be provided as required on the Planning Commission Application.

The applicant stated the purpose/use of the 8,000 square foot building illustrated in the first phase; however, the purpose/use of the three additional proposed buildings still have not been addressed in the form of a narrative or indicated on the revised site plan in order to ensure that compliant parking is provided on site. For instance, Buildings 4, 5, and 6 should indicate if the structures will be used as a sanctuary, office space, educational classrooms, prayer rooms, etc. The applicant should revise the site plan to indicate the use of all proposed buildings on site so that staff can determine if it will comply with the Zoning Ordinance.

As previously stated at the June 2nd Planning Commission meeting, the proposed development appears to be compliant as it relates to site coverage; however, the site plan still has not been revised to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance. The revised site plan should illustrate all four buildings in their entirety and should illustrate all required overstory, understory, and existing trees needed to develop the site. The site plan should be revised to also include the landscaping plan as one sheet and not multiple sheets. Devising the site plan in this manner provides for better clarity and coherence when reviewing the final site plan, as all information is easily accessible in one document.

It should be noted that the parking area must also provide lighting in compliance with Section 64-6.A.3 and Section 64-6.A.8 of the Zoning Ordinance at time of permitting. A lighting schedule is shown on sheet C-5; however, the placement of the lighting and a legend for the lighting symbols is not clearly depicted on the site plan. Also, since the proposed church expansion is bounded by single family homes to the North, East, West, and South of the site, the applicant must ensure that the proposed lighting does not shine directly onto neighboring residential properties or into traffic per the Zoning Ordinance. Provision of a photometric plan will be required at time of permitting.

It was also stated at the last Planning Commission, that the one-way drives to the new structure may not comply with the 2012 International Fire Code 20 foot minimum requirement. The site plan should be revised to reflect compliance with the 2012 IFC access requirements.

Commercial properties that abut residential properties must provide a protection buffer strip of not less than 10 feet, or erect a wall, fence, or screen planting strip due to its adjacency to residential homes according to Section 64-4.D.1. of the Zoning Ordinance. The site plan depicts a 25' minimum building setback line at the front, rear, and sides of the subject property. The rear and side yards of the subject property depict the use of the existing wooded area as a protective buffer strip along the perimeter of the property to separate the church use from other

residential properties. It should be noted that one of the proposed structures extends into the 25' setback illustrated at the rear of the site, but the structure appears to comply with the required 10' setback.

The 25' minimum building set back line is depicted on the site plan, and should ensure that it is properly adjusted for dedication.

As a means of access management, a note should be provided on the revised site plan stating that the site is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The location and dimensions of the proposed HVAC mechanical equipment for the proposed structure have not been illustrated on the site plan as mentioned at the last Planning Commission meeting. The site plan should be revised to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance.

The site plan still does not indicate the method of garbage collection for the subject site. The site plan should be revised to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, the placement of a note on the site plan indicating such, or a note should be indicated on the site plan stating that garbage collection will be provided by curbside or private garbage collection services if a dumpster will not be provided.

A sidewalk is not depicted and labeled along the property's frontage on the site plan, nor has a sidewalk waiver been submitted to Permitting since the last meeting. If a sidewalk is not being proposed within the development of this site then a sidewalk waiver must be obtained, or a sidewalk must be provided and be clearly indicated on the revised site plan.

RECOMMENDATION

Subdivision: *The Subdivision request is recommended for Holdover until August 4th, with revisions due by July 21st to address the following:*

- 1) Revision of the application or provision of a written statement to indicate the providers for both water and sanitary sewer services;*
- 2) Dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary;*
- 3) Retention of the 25-foot minimum building setback line;*
- 4) Placement of a note on the Final Plat stating that the lot is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 5) Revision of the Final Plat to illustrate the lot size in both square feet and in acres;*
- 6) Subject to the Engineering comments: (The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
 - A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature*

- blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. C. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. D. Show and label each and every Right-Of-Way and easement. E. Provide and label the monument set or found at each subdivision corner. F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. G. Provide the Surveyor's Certificate and Signature. H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. K. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. L. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.);*
- 7) Subject to the Traffic Engineering comments: (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
 - 8) Subject to the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).]; and*
 - 9) Subject to the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).].*

Planned Unit Development: *Based upon the preceding, this application is recommended for Holdover until August 4th, with revisions due by July 21st to address the following:*

- 1) Provision of a written statement to indicate the timeline for construction;*
- 2) Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance (Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.);*
- 3) Retention of the 25' minimum building set back line;*
- 4) Retention of the wooded buffer along the rear and side yards of the subject site;*

- 5) *Retention of the curbing and bumper stops for each parking space abutting a landscaped area;*
- 6) *Revision of the site plan to indicate the proposed use of each building on the site;*
- 7) *Revision of the site plan to show all structures located outside of the property setbacks;*
- 8) *Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6A.8. of the Zoning Ordinance by indicating placement of exterior lighting and providing a lighting symbol legend;*
- 9) *Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;*
- 10) *Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer, curbside, or private collection services in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;*
- 11) *Revision of the site plan to include a sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;*
- 12) *Retention of the note on the site plan stating that the PUD is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 13) *Subject to the Engineering comments: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 14) *Subject to the Traffic Engineering comments: (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*

- 15) *Subject to the Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 16) *Subject to the Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).);*
- 17) *Revision of the site plan to reflect 2012 IFC access requirements; and*
- 18) *Revision of the site plan to also include the landscaping plan as one sheet and not multiple sheets.*

Planning Approval: *Based upon the preceding, this application is recommended for Holdover until August 4th, with revisions due by July 21st to address the following:*

- 1) *Provision of a written statement to indicate the timeline for construction;*
- 2) *Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance (Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.);*
- 3) *Retention of the 25' minimum building set back line;*
- 4) *Retention of the wooded buffer along the rear and side yards of the subject site;*
- 5) *Retention of the curbing and bumper stops for each parking space abutting a landscaped area;*
- 6) *Revision of the site plan to indicate the proposed use of each building on the site;*
- 7) *Revision of the site plan to show all structures located outside of the property setbacks;*
- 8) *Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6.A.8. of the Zoning Ordinance by indicating placement of exterior lighting and providing a lighting symbol legend;*
- 9) *Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;*
- 10) *Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer, curbside, or private collection services in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;*
- 11) *Revision of the site plan to include a sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;*
- 12) *Retention of the note on the site plan stating that the PUD is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;*
- 13) *Subject to the Engineering comments: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration*

Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];

- 14) Subject to the Traffic Engineering comments: (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 15) Subject to the Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).;*
- 16) Subject to the Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).);*
- 17) Revision of the site plan to reflect 2012 IFC access requirements; and*
- 18) Revision of the site plan to also include the landscaping plan as one sheet and not multiple sheets.*

Revised for the August 4th meeting:

This application was heldover from the July 7th meeting to allow the applicant sufficient time to revise the Subdivision Application or provide a written statement indicating the providers for both water and sanitary sewer services, provision of a written statement to indicate the timeline for construction, in addition to addressing all other required revisions to the site plan.

As stated at prior meetings, the applicant is requesting Subdivision, Planned Unit Development, and Planning Approval to expand their existing church facilities in an R-1, Single Family Residential District from two existing one story brick buildings to four new buildings with shared access and parking constructed over the course of three phases.

It is very important to note that Planned Unit Development and Planning Approval reviews are site plan specific; therefore any future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for both Planned Unit Development and Planning Approval.

The applicant has provided site plan revisions since the last Planning Commission meeting; however, there still are a significant number of items that have not been addressed as it pertains to the applicant's request. For instance, the applicant still has not provided a timeline for each phase of construction, nor has the proposed use for each proposed building, other than Building 3, been provided. The applicant was originally made aware of the need for this information in the staff report for the June 2nd Planning Commission meeting.

Again, the proposed development appears to be compliant as it relates to site coverage; however, the site plan still has not been revised to illustrate compliant landscaping, parking, and tree planting calculations as required by Section 64-4.E of the Zoning Ordinance. Specifically, the landscape and tree planting calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided. Again, the applicant was made aware of the need for these revisions in the June 2nd staff report, and has still failed to provide the necessary changes.

It should be noted that the parking area must also provide lighting in compliance with Section 64-6.A.3 and Section 64-6.A.8 of the Zoning Ordinance at time of permitting. A lighting schedule is shown on sheet C-5; however, the placement of the lighting and a legend for the lighting symbols is not clearly depicted on the site plan in order to determine proposed lighting locations. Also, since the proposed church expansion is bounded by single family homes to the North, East, West, and South of the site, the applicant must ensure that the proposed lighting does not shine directly onto neighboring residential properties or into traffic per the Zoning Ordinance. The need for a residential buffer was discussed in the revised staff report for the July 7th meeting.

It was reiterated at the last Planning Commission meeting, that the one-way drives to the new structure may not comply with the 2012 International Fire Code's 20-foot minimum requirement. The secondary drive along the western portion of the site is illustrating a width of 14 feet, which is 6 feet less than the minimum requirement. The site plan still has not been revised to reflect compliance with the 2012 IFC access requirements to allow fire trucks and emergency vehicles sufficient ingress and egress on and off the subject property.

It should be noted that the proposed Building 6 extended into the 25-foot setback illustrated at the rear of the subject property in a prior iteration of the site plan; however, the structure appeared to reflect compliance with the required 10-foot setback. This structure has since been relocated outside of the proposed 25-foot rear yard setback area; thus, reflecting full compliance with the Zoning Ordinance.

The location and dimensions of the proposed HVAC mechanical equipment for the proposed structure still have not been illustrated on the site plan. The site plan must be revised to indicate

the location, height and size of all HVAC mechanical equipment proposed for the site and ensure that it reflects compliance with Section 64-4.D.11 of the Zoning Ordinance, which the applicant has been aware of since June 2nd.

It appears that the method of garbage collection for the subject site will be provided via a dumpster located near the Southeast portion of the subject property; however, the area is not labeled and a connection to sanitary sewer services is not shown. The site plan should be revised to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance and/or the placement of a note on the site plan indicating so.

A sidewalk is still not depicted and labeled along the property's frontage on the site plan, nor has a sidewalk waiver been submitted to Permitting since the last meeting. If a sidewalk is not being proposed within the development of this site then a sidewalk waiver must be obtained, or a sidewalk must be provided and be clearly indicated on the revised site plan.

It should be noted that Alabama Power provided the applicant documentation stating that the company provides electric services to the subject site; however, the applicant still has not accounted for the providers of both water and sanitary sewer services to the subject property, which is a main requirement of the Subdivision application.

There are still many pertinent items that must be addressed within the application and the site plan in order to determine compliance with the requirements of the Zoning Ordinance.

RECOMMENDATION

Subdivision: *The Subdivision request is recommended for Denial for failure to address the following:*

- 1) Revise the application or provide a written statement to indicate the providers for both water and sanitary sewer services; and,*
- 2) Denial of Planning Approval and Planned Unit Development make Subdivision moot.*

Planned Unit Development: *Based upon the preceding, this application is recommended for Denial for failure to provide the following:*

- 1) Provision of a written statement to indicate the timeline for construction;*
- 2) Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance (Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.);*
- 3) Revision of the site plan to label all existing trees on site;*
- 4) Revision of the site plan to indicate the proposed use of each building on the site;*

- 5) *Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6A.8. of the Zoning Ordinance by indicating the placement of exterior lighting locations and providing a lighting symbol legend;*
- 6) *Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;*
- 7) *Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;*
- 8) *Revision of the site plan to include a proposed sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;*
- 9) *Revision of the site plan to reflect 2012 IFC access requirements; and*
- 10) *Revision of the site plan to also include the landscaping plan as one sheet and not multiple sheets.*

Planning Approval: *Based upon the preceding, this application is recommended Denial for failure to provide the following:*

- 1) *Provision of a written statement to indicate the timeline for construction;*
- 2) *Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance (Specifically, the landscape and tree calculations should also indicate the total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided.);*
- 3) *Revision of the site plan to label all existing trees on site;*
- 4) *Revision of the site plan to indicate the proposed use of each building on the site;*
- 5) *Revision of the site plan to indicate lighting within the parking area will be in compliance with Sections 64-6.A.3 and 64-6A.8. of the Zoning Ordinance by indicating the placement of exterior lighting locations and providing a lighting symbol legend;*
- 6) *Revision of the site plan to indicate the location, height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;*
- 7) *Revision of the site plan to illustrate that on site garbage collection will be served via a dumpster with a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such;*
- 8) *Revision of the site plan to include a proposed sidewalk or the application for a sidewalk waiver if a sidewalk will not be provided;*
- 9) *Revision of the site plan to reflect 2012 IFC access requirements; and*
- 10) *Revision of the site plan to also include the landscaping plan as one sheet and not multiple sheets.*

Revised for the September 15th meeting:

This application was heldover from the August 4th meeting to allow the applicant additional time to revise the Subdivision Application and/or provide a written statement indicating the providers for both water and sanitary sewers services, provision of a written statement indicating the

timeline for construction of the proposed project, submittal of site plan revisions, as well as the submission of a Sidewalk Waiver Application to forgo the construction of a sidewalk.

As stated at prior meetings, the applicant is requesting Subdivision, Planned Unit Development, Planning Approval, and Sidewalk Waiver approval to expand their existing church facilities in an R-1, Single Family Residential District from two existing one story brick buildings to three new buildings and an open pavilion with shared access and parking constructed over a period of three phases.

It is very important to note that Planned Unit Development and Planning Approval reviews are site plan specific; therefore any future changes to the site plan or to the scope of operations for the facility, as approved, by current or future applicants must be submitted for both Planned Unit Development and Planning Approval.

Since the last Planning Commission meeting, the applicant has updated the original Subdivision Application to indicate the providers for both water and sanitary sewer services. The applicant notated that the subject site will be served by public water services provided by Mobile Area Water and Sewer Systems and that the sanitary sewer services will be provided by an individual septic system. The septic system is depicted in the southern portion of the property on the site plan, and will consist of septic tanks and effluent lines.

In addition to providing a written statement for the providers of both onsite water and sanitary sewer systems, the applicant has provided a construction timeline for the Planned Unit Development and has indicated the proposed use for each structure to be built on the subject property as mentioned in previous Planning Commission meetings. The applicant states that Phase I will be completed within one year and will consist of the construction of Building 3, the Multipurpose Building, and will include the construction of all required drives, parking, drainage, landscape, and walkways during this phase. Phase II is expected to be completed in years two and three and will consist of the construction of Building 5, the Future Sunday School Building, in addition to the construction of corresponding parking, landscaping, and walkways required for the site. Phase III is scheduled to take place within years four and five and will include the construction of Building 4, the Future Administration Building, in addition to completion of required parking and circulation, landscaping, and walkways on site. Building 6, which is an Open Pavilion structure, is scheduled to be completed within the tentative five year construction timeline; however, it does not have a designated phase of completion indicated on the site plan as it can be constructed within any of the three phases.

Furthermore, it should be noted that Building 6, the Open Pavilion, is in fact a covered structure open to the elements and is not an enclosed structure like a commercial building or a residential home. The site plan should be revised to indicate the structure as an "Open Pavilion or Gazebo" and not as "Building 6" so that the 1,580 square foot structure is not included in the subject property's onsite parking calculations.

The landscaping and tree planting calculations have been revised to indicate the required total site area, 12% of the total landscaped area required, 60% of the total frontage area required, the total landscaped area provided, as well as the frontage landscaped area provided as

mentioned in previous meetings. The required number of perimeter overstory trees, perimeter understory trees, and parking trees has been provided via new tree plantings and tree credits; however, the site has a deficit of three (3) Highrise Live Oak trees that are not indicated within the front 25' minimum building setback area on the site plan. It appears that the front setback area may prove to be somewhat restrictive to additional Live Oak plantings. The issue could possibly be remedied by closing the secondary one-way driveway to traffic to allow the planting of one to two more Highrise Live Oak trees in the front setback or the applicant can seek relief from the requirements of the Zoning Ordinance for the frontage tree plantings by appealing to the Planning Commission, as PUD's are more flexible in their design requirements. Nonetheless, the site plan needs to be revised in order to depict three (3) Highrise Live Oak trees within the front setback or relief must be sought from the Planning Commission by the applicant.

It should be mentioned that the revised site plan now indicates the location of each light that will be provided on the subject site for parking and visibility. There are currently nine (9) street lights proposed for the subject property. The applicant must ensure that all lighting provided reflects compliance with Sections 64-6.A.3 and 64-6.A.8 of the Zoning Ordinance at the time of permitting, and that the proposed lighting does not shine directly onto neighboring residential properties or into traffic per the Zoning Ordinance, as the proposed church expansion is bounded by single family homes to the North, East, West, and South of the subject site. Furthermore, it should be noted, that a photometric plan will be required at the time of permitting.

The site plan has been revised to widen the drive aisles widths to 20' or more to comply with the 2012 International Fire Code requirements for fire truck and emergency vehicle accessibility. It should be noted that the secondary drive way along the northwest portion of the site still contains an entrance width of 14'; however, only one-way traffic is allowed. It appears that the most recent site revisions reflect compliance with the 2012 IFC Code.

The revised site plan now depicts the location and height of the HVAC mechanical equipment proposed for Building 3 on the subject site. Two condensing units with a maximum height of 4'6" for each unit will be provided for the subject property per the site plan. The proposed units meet side and rear setbacks; thus, reflecting compliance with Section 64-4.D.11 of the Zoning Ordinance. Additionally, the locations of the proposed HVAC mechanical equipment are illustrated on the site plan for the future Administration and Sunday School buildings; however, the height for the outdoor mechanical equipment for each building has not been indicated. It should be noted that the applicant will have to provide this information on the site plan upon submittal of an application for Planned Unit Development Approval for Phase II in the construction of the Building 5, for the construction of Building 6, and for Phase III in the construction of Building 4.

The method of garbage collection for the subject site will be provided via roll-out containers located at the southeast portion of the property adjacent to Building 3 as indicated on the site plan. The applicant no longer desires to utilize a dumpster as illustrated on previous iterations of the site plan.

As stated, the applicant is also requesting a waiver for the construction of a sidewalk along Overlook Road. The applicant states that a sidewalk should not be required along Overlook Road due to the following reasons:

- 1. There are no other sidewalks on the entire length of Overlook Road;*
- 2. There is little potential for additional businesses or subdivisions coming to the area; and*
- 3. Very little, if any, foot traffic on Overlook Road.*

Although there are ditches located along certain portions of Overlook Road to the East, North, and West of the subject site, the subject property itself appears to be relatively flat and not encumbered with any site or topographical issues, such as varied elevations in the terrain or ditches, that would justify the need for a sidewalk waiver per the cross-section and photographs that accompanied the application request.

It should be pointed out that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit safety and accessibility for pedestrians.

“There is little potential for additional businesses or subdivisions coming to the area” and “Very little if any, foot traffic on Overlook Road” are moot points in that it is not of the opinion of Staff nor the general public to predict the “future growth patterns and foot traffic” of this area. Furthermore, there are homes and structures sited along Overlook Road that may benefit from better connectivity to people and places through the implementation of sidewalks.

The site is depicted as “Suburban Neighborhood” per the recently adopted Map for Mobile Plan. The intent of the Suburban Neighborhood is to allow for:

- Emphasize connectivity to surrounding neighborhoods and close services and retail;*
- Accommodation of pedestrian and bicycle traffic in addition to automobiles;*
- Appropriate scaled infill development to complement existing character of neighborhoods.*

The Map for Mobile’s classification of this area further cements the City’s desire to provide better connectivity to surrounding neighborhoods and close services and retail.

The applicant is correct in that there are no other sidewalks present along Overlook Road and that “absent sidewalks” appear to be a general characteristic of the area; however, according to the “complete streets” policy and the Map for Mobile, safety, accessibility, and connectivity for all citizens and visitors remains a top priority for the City of Mobile.

Although most of the pertinent items of this application request have been answered, there are a few items that still need to be addressed. The main items of concern are the deficit of overstory trees within the front 25’ setback area. Additionally, the applicant has not submitted any substantial documentation to support the need for a sidewalk waiver outside of the general

characteristics and aesthetics of the neighborhood; thus, eliciting a denial of the sidewalk waiver request.

RECOMMENDATION

Subdivision: Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication sufficient to provide 30' from the centerline of Overlook Road, if necessary;
- 2) Revision of the Final Plat to depict the 25' minimum building setback line;
- 3) Placement of a note stating that the lot is limited to the existing curb cuts to Overlook Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) Revision of the Final Plat to illustrate the lot size in both square feet and in acres;
- 5) Compliance with Engineering comments: (The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. C. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. D. Show and label each and every Right-Of-Way and easement. E. Provide and label the monument set or found at each subdivision corner. F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. G. Provide the Surveyor's Certificate and Signature. H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. K. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. L. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.);
- 6) Compliance with Traffic Engineering comments (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);

- 7) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and*
- 8) *Compliance with Fire Department comments and placement of a note (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

Planned Unit Development: *Based on the preceding, this application is recommended for Approval, subject to the following conditions:*

- 1) *Revision of the site plan to indicate the structure located on the southeastern portion of the subject property as an “Open Pavilion or Gazebo” and not as “Building 6” so that the 1,580 square foot structure is not included in the subject property’s onsite parking calculations;*
- 2) *Revision of the site plan to depict three (3) Highrise Live Oak trees within the 25’ front setback area or be granted relief of this requirement from the Planning Commission, as PUD’s are more flexible in their design requirements;*
- 3) *Provision of a photometric plan;*
- 4) *Compliance with Engineering comments: (ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 5) *Compliance with Traffic Engineering comments (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap*

- spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and*
 - 7) Compliance with Fire Department comments and placement of a note (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

Planning Approval: *Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:*

- 1) Revision of the site plan to indicate the structure located on the southeastern portion of the subject property as an "Open Pavilion or Gazebo" and not as "Building 6" so that the 1,580 square foot structure is not included in the subject property's onsite parking calculations;*
- 2) Revision of the site plan to depict three (3) Highrise Live Oak trees within the 25' front setback area or be granted relief of this requirement from the Planning Commission, as PUD's are more flexible in their design requirements; and*
- 3) Provision of a photometric plan;*
- 4) Compliance with Engineering comments: (1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 5) Compliance with Traffic Engineering comments (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap*

- spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and*
 - 7) Compliance with Fire Department comments and placement of a note (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

Sidewalk Waiver: *Based upon the preceding, the application for waiver of the sidewalk along Overlook Road is recommended for denial due to insufficient documentation of topographical site encumbrances.*

LOCATOR MAP



APPLICATION NUMBER 9 DATE September 15, 2016

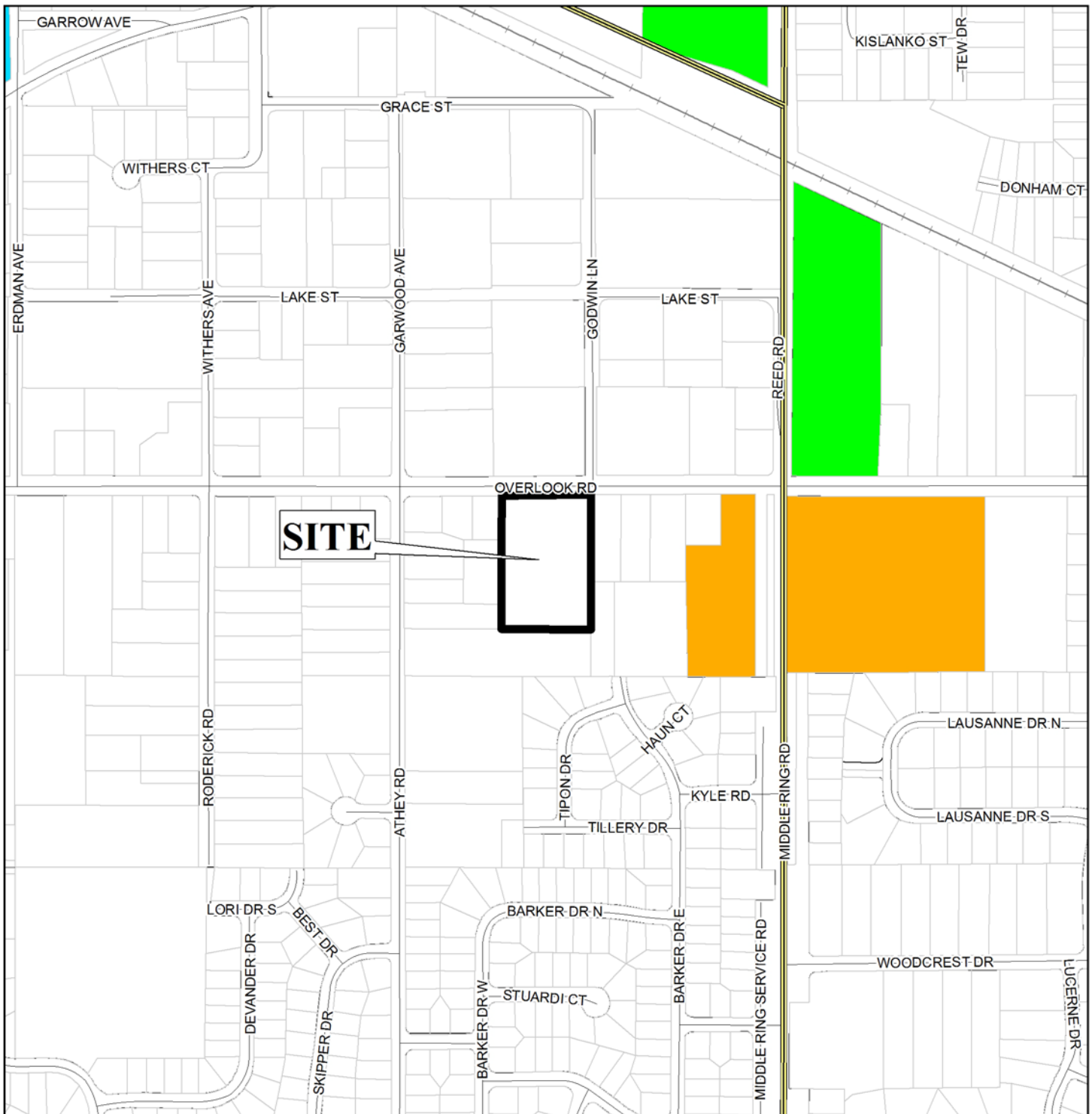
APPLICANT Word of God Church

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver



NTS

LOCATOR ZONING MAP



APPLICATION NUMBER 9 DATE September 15, 2016

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units and a church is located to the southeast.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

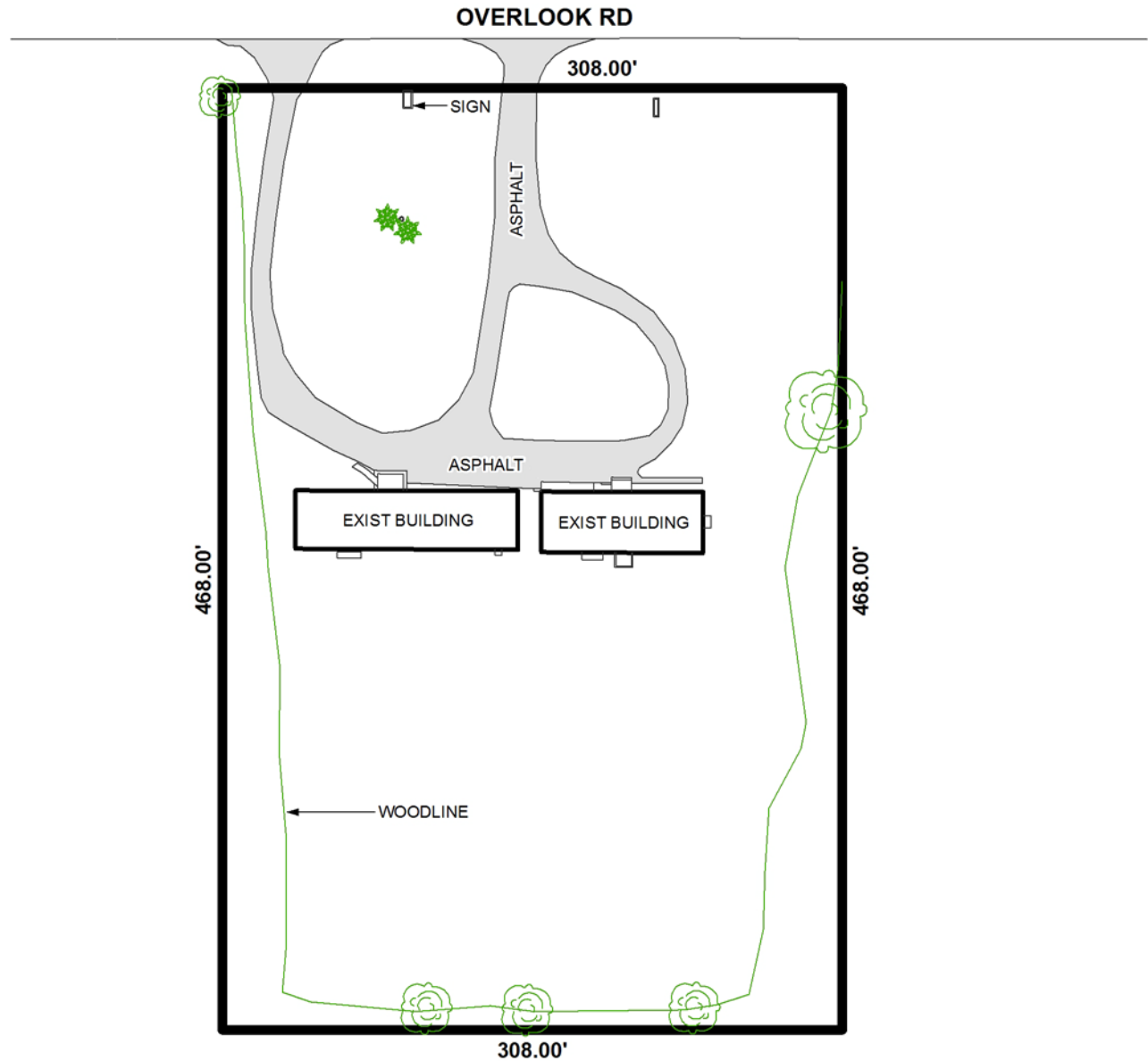


The site is surrounded by residential units and a church is located to the southeast.

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EXISTING SITE PLAN



The site plan illustrates the existing buildings.

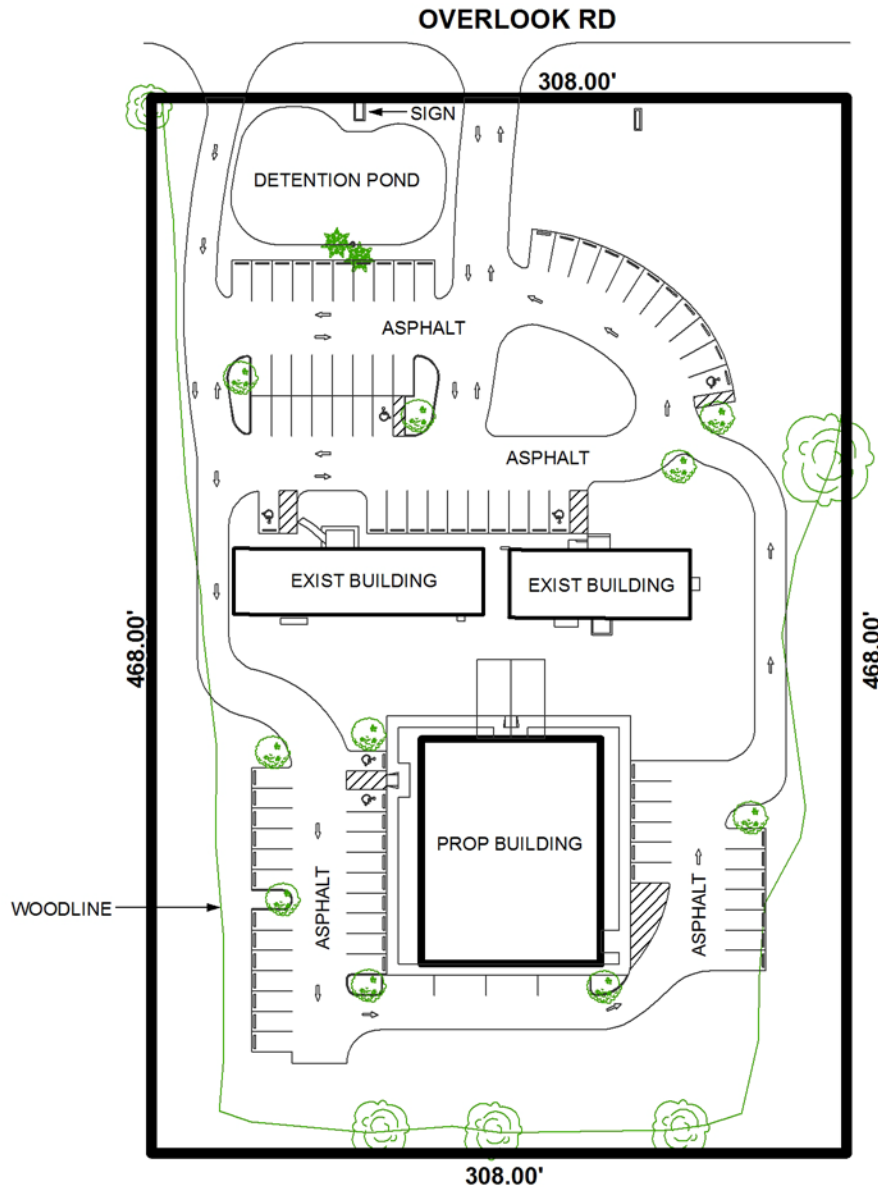
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PROPOSED SITE PLAN - PHASE 1



The site plan illustrates the existing buildings, proposed building, and proposed asphalt drives and parking.

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PROPOSED SITE PLAN - PHASE 2



The site plan illustrates the existing buildings, proposed building, and asphalt drives and parking.

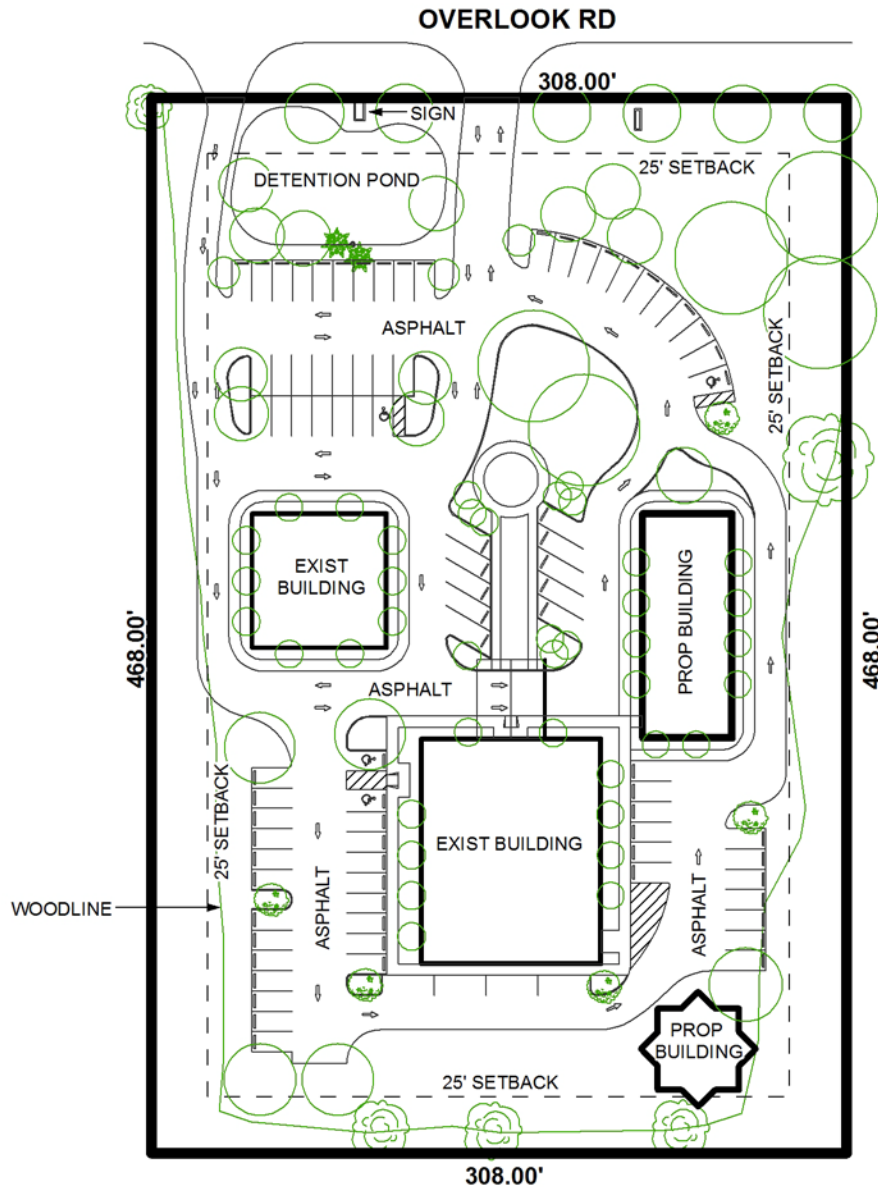
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PROPOSED SITE PLAN - PHASE 3

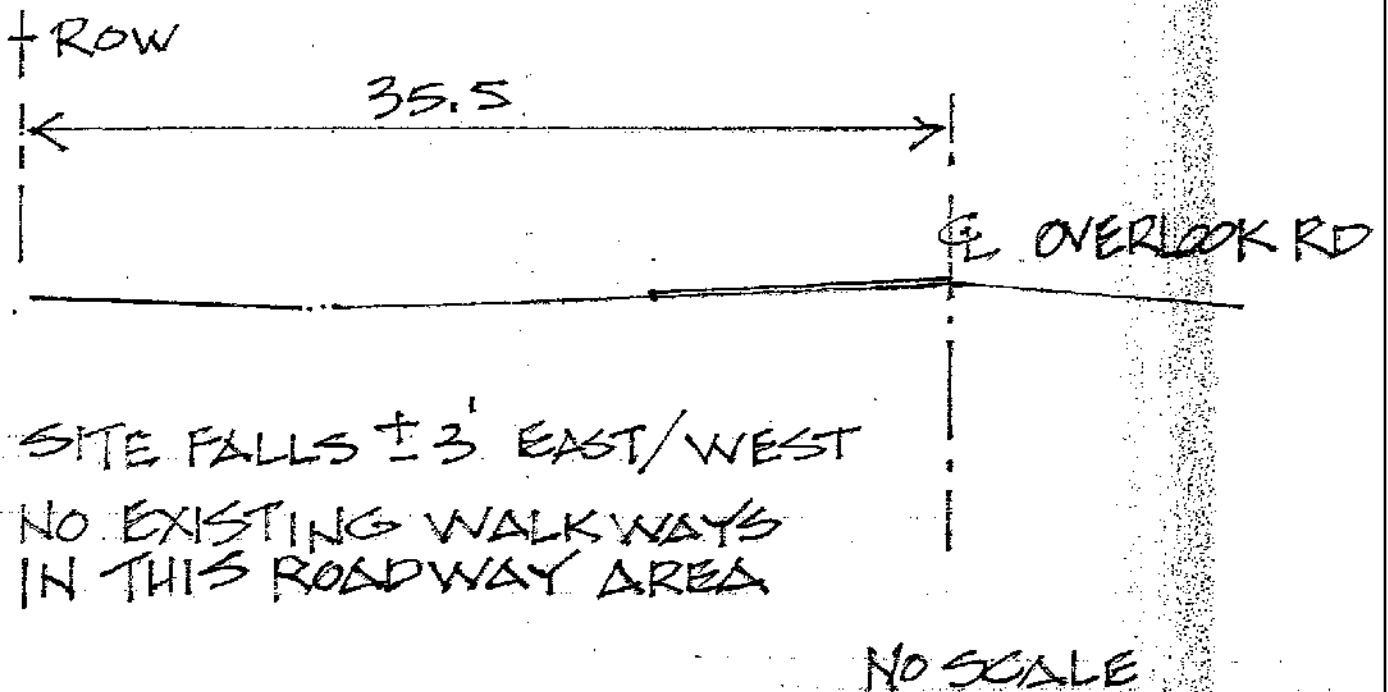


The site plan illustrates the existing buildings, proposed buildings, and asphalt drives and parking.

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DETAIL SITE PLAN



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