

SIDEWALK WAIVER REQUEST STAFF REPORT**Date: July 6, 2006****NAME**

TREC, LLC

LOCATION

133 West I-65 Service Road South
(Southwest corner of West I-65 Service Road south and
Springhill Business Park)

PRESENT ZONING

B-3, Community Business

ENGINEERING**COMMENTS**

Engineering recommends no waiver. The sidewalk along Springhill Business Park can be constructed from the I-65 service road west to the east side of the westernmost entrance to the site.

The sidewalk along the I-65 service road can be constructed similar to the one recently required for the property @ 153 W-I-65 Service Road S (north of site).

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver of the sidewalk construction requirements for a small portion of the sidewalk along the northwest corner of the property along Springhill Business Park. The applicant states that the area where the sidewalk is required is insufficient to allow the construction of the sidewalk, due to the location of the existing back flow preventer and water meters for the adjacent property.

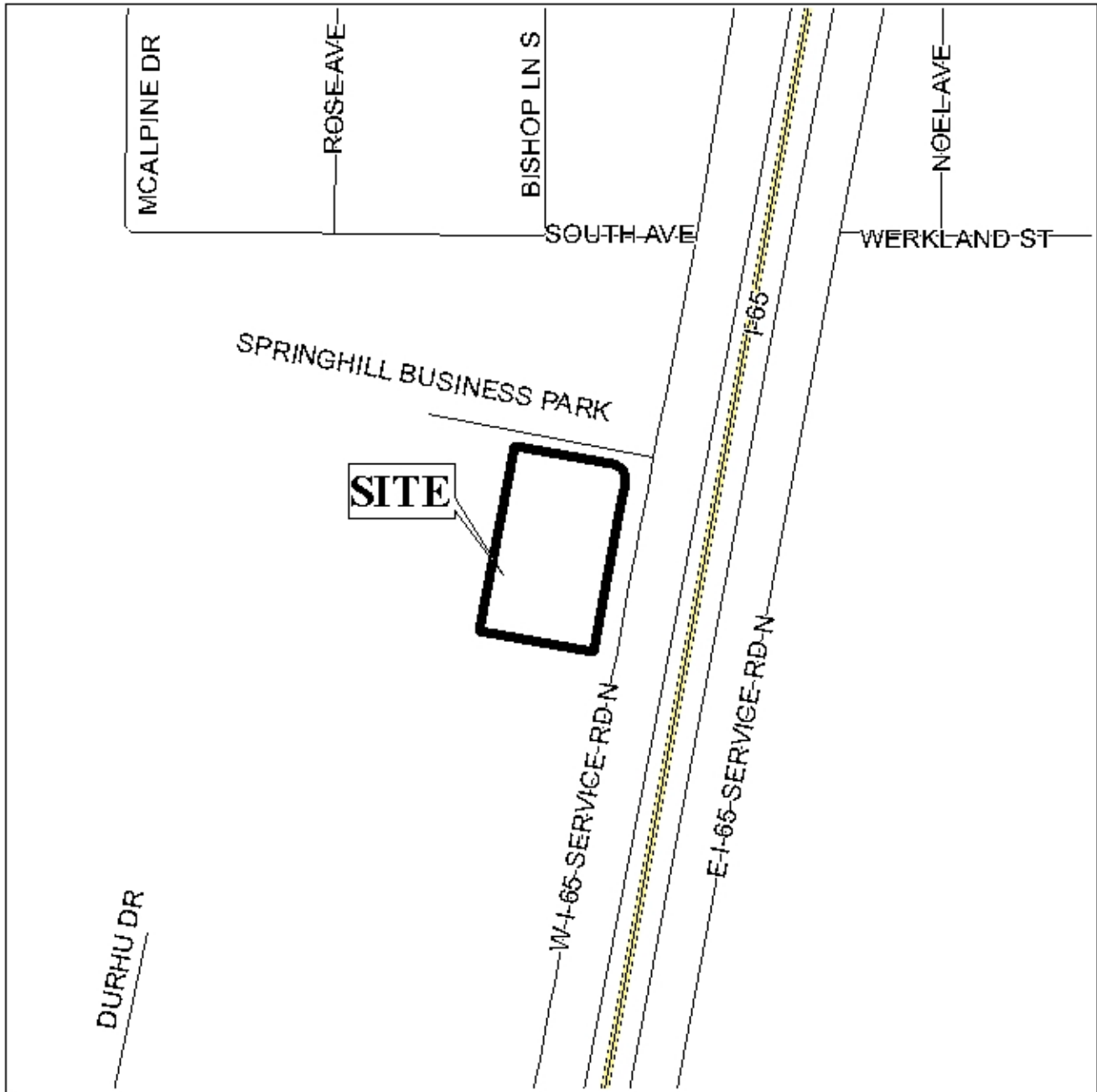
It should be noted that the Commission has rarely allowed the absence of sidewalks in an area as justification for waiving sidewalk requirements. Furthermore, it has been the policy of the Commission to approve sidewalk waivers only in cases where an engineering reason or physical barrier that made installation of the sidewalk impracticable.

City Engineering and Urban Forestry recommend no waiver of the sidewalk requirements, commenting that the sidewalk can be constructed to the westernmost entrance to the site and can be constructed similar to a site at 153 West I-65 Service Road South (North of the site).

RECOMMENDATION

Based on the preceding, this application is recommended for denial.

LOCATOR MAP



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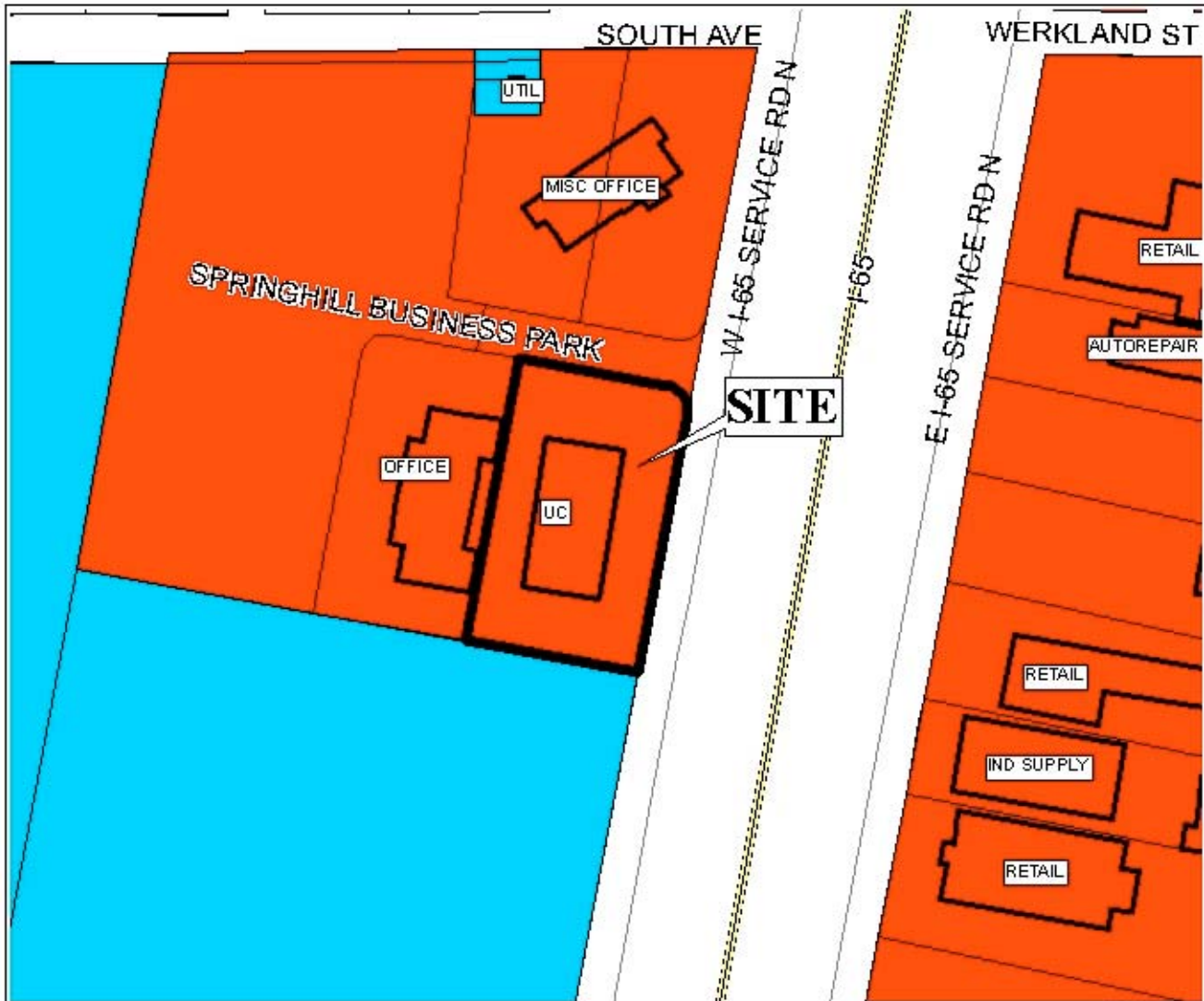
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use

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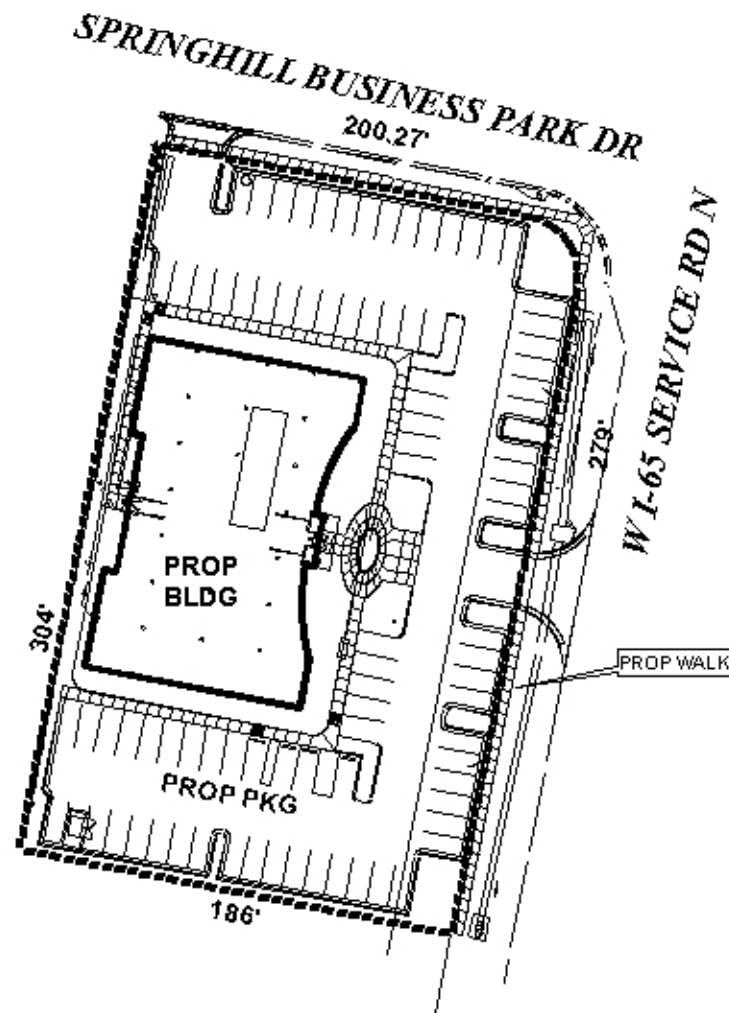
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



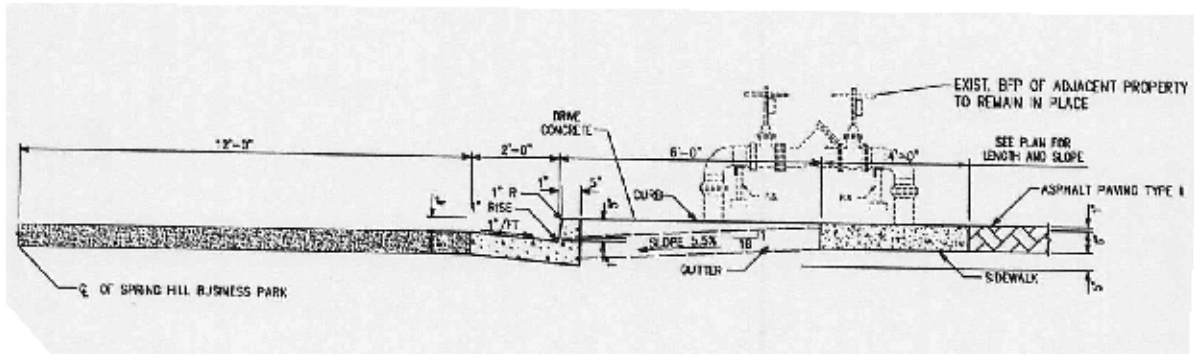
The site plan illustrates the proposed development

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DETAIL SITE PLAN



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