

## **THE TOWN OF SALTIRE BAY FRONT DISTRICT** **SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: Water and Sewer would be available through the Town of Saltire.

The plat illustrates the proposed 16-lot, 41.9± acre subdivision, which is located on the East and West sides of Kearns Road (private road), ½ mile± North of Saltire Road, within the Planning Jurisdiction. The applicant states that the site is served by public water and sanitary services.

This application has been submitted as an Innovative Subdivision under Section VIII-C. of the Subdivision Regulations. The purpose of this application is to re-subdivide an existing 25-lot subdivision into 16 lots and provide a new access route to the subdivision. The subdivision was originally approved by the County and recorded as Western Shoreline Estates Subdivision, Unit Two, in 2003. As originally recorded, the subdivision contained 12 small lots to serve as septic fields for the other 13 larger buildable lots, but the proposed subdivision now has public water and sanitary services, and the septic field lots have been eliminated from this application. The original access to the subdivision was via Kearns Road, a private road adjacent to the South of the site. That access has now been denied and a new road must be constructed to connect the portion of Kearns Road within the subdivision to the Town of Saltire Lake District Subdivision, approximately 1,000' Southwest of the site. That is a private street subdivision also owned by the applicant as is the vacant land the new road would cross. There are no public streets or roads fronting any portion of the proposed subdivision.

With regard to roads, that portion of Kearns Road within the subdivision would be re-named Bay Front Drive and would no longer connect to Kearns Road to the South. Near the South end of the subdivision, a new road (Bridge Water Drive) would connect Bay Front Drive with the North terminus of Town Center Drive (private street) in The Town of Saltire Lake District Subdivision. Kearns Road (proposed Bay Front Drive) within the subdivision has a compliant

60' right-of-way, but is unpaved. The plat does not indicate a turn-around at its North terminus; therefore, the plat should be revised to indicate a 120'-diameter cul-de-sac at the North terminus in accordance with the requirement of Section V.B.14. of the Subdivision Regulations. The applicant is requesting a waiver of the 2' wing requirement of Section VIII.E.2.c on each side of Bay Front Drive in favor of parallel swale ditches in accordance with County standards. As the wings are a requirement of the City's Subdivision Regulations pertaining to private streets, this requirement should be adhered to along all proposed streets within the subdivision. As all roads are proposed to be private, a note would be required on the Final Plat stating that the maintenance of the roads is the responsibility of the property owners and not Mobile County.

The plat indicates the original 50' minimum building setback line along the East side of Bay Front Drive, but no minimum setback is indicated along the West side of Bay Front Drive or along either side of Bridge Water Drive; therefore, the plat should be revised to indicate a 25' minimum building setback line where not shown. As a means of access management, a note should be required on the final plat stating that each lot along Bay Front Drive is limited to one curb cut, and Lot P is limited to two curb cuts to Bridge Water Drive, with the size, location and design of all curb cuts to be approved by County Engineering and conform to AASHTO standards. A note should also be required on the Final Plat stating that there shall be no access to Kearns Road to the South of the subdivision.

Although not indicated on the plat, all lots scale to meet minimum lot area standards. All lots should be labeled on the Final Plat with their sizes in square feet and acres, or a table should be furnished on the Final Plat providing the same information. All lot dimensions are not shown on the plat; therefore, the plat should be revised to indicate all lot dimensions on the Final Plat.

Three additional buildable lots are proposed beyond the originally platted 13 buildable lots of Western Shoreline Estates Subdivision, Unit Two. All three are along the East side of Bay Front Drive. As a result, all lots along the East side of Bay Front Drive would exceed the depth-to-width ratio of Section V.D.3. of the Subdivision Regulations. However, such ratios are typical of waterfront properties, and several of the lots contain unusable wetlands which, when excluded, would actually bring the ratios into compliance. Therefore, a waiver of Section V.D.3. would be in order. As a result of the closing of the Southern portion of Kearns Road within the subdivision and the realignment of Bay Front Drive to connect to Bridge Water Drive, Lots A and B would ordinarily not have any road frontage. However, short flag lot "stems" are proposed extending from the main lots to provide each with approximately 30' of frontage along Bay Front Drive: unusual lot shapes adjacent to Mobile Bay and its tributaries are not uncommon. A waiver of Section V.D.1. of the Subdivision Regulations may be in order to provide such.

The area along the West side of Bay Front Drive is labeled as Future Development; however, aerial photographs of the site indicate established amenities such as a tennis court and gazebo within this area near the South end of the lake. If such are to remain and be for common property owners' use, the boundary for the Future Development should be revised to exclude these amenities and include them within the Common Area. Also, a large area immediately to the West of the lake is labeled Not Included. As this area is included in the original recording of Western Shoreline Estates Subdivision, Unit Two, as a Common Area, it should be included in

this subdivision, either as a Common Area or as Future Development. A note would be required on the Final Plat stating that the maintenance of all common areas is the responsibility of the property owners and not Mobile County.

As mentioned, the site contains wetlands, and as such, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species, as well as wetlands. Furthermore, much of the site is within the flood hazard area for Mobile Bay, thus compliance with FEMA regulations will be required.

While the site is located in the County, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

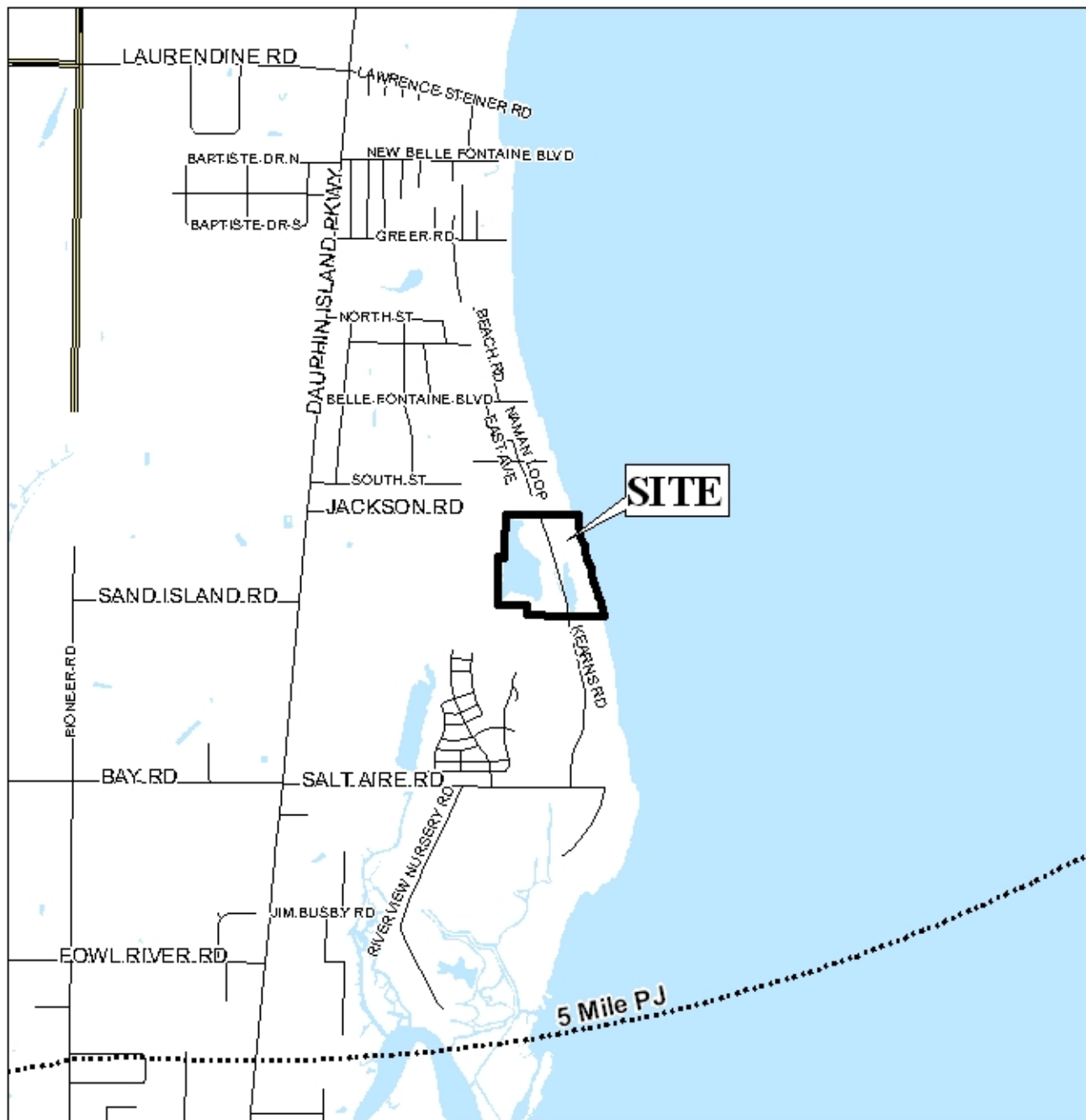
Since the site is in the County, a note should be placed on the final plat stating that any lots developed commercially and adjoining residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

With waivers of Sections V.D.1. and V.D.3. of the Subdivision Regulations, the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) revision of the plat to indicate a 120'-diameter cul-de-sac at the North terminus of Bay Front Drive;
- 2) construction of the private streets in accordance with Section VIII.E.2.c of the Subdivision Regulations;
- 3) placement of a note on the Final Plat stating that the maintenance of all private streets is the responsibility of the property owners and not Mobile County;
- 4) revision of the plat to indicate a 25' minimum building setback line along all street frontages unless greater is indicated, including within future development and common areas;
- 5) placement of a note on the Final Plat stating that each lot along Bay Front Drive is limited to one curb cut, and Lot P is limited to two curb cuts to Bridge Water Drive, with the size, location and design of all curb cuts to be approved by County Engineering and conform to AASHTO standards;
- 6) placement of a note on the Final Plat stating that there shall be no access to Kearns Road to the South of the subdivision;
- 7) labeling of all lots with their sizes in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 8) revision of the plat to indicate all lot dimensions;
- 9) revision of the plat to remove the recreational amenities near the Southeast portion of the lake from the Future Development area and include them in the Common Area if such amenities are to be for common property owners' use;

- 10) inclusion of the area to the West of the lake labeled as Not Included to be either a Common Area or Future Development;
- 11) placement of a note on the Final Plat stating that the maintenance of all common areas is the responsibility of the property owners and not Mobile County;
- 12) placement of a note on the Final Plat stating that approval of all applicable federal, state and local environmental agencies for wetlands or floodplain issues is required prior to the issuance of any permits or land disturbance activities;
- 13) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 14) placement of a note on the Final Plat stating that the development has been designed to comply with all other storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the obtaining of permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and
- 15) placement of a note on the Final Plat stating that any lots developed commercially which adjoin residentially developed property shall provide a buffer in compliance with Section V.A.8. of the Subdivision Regulations.

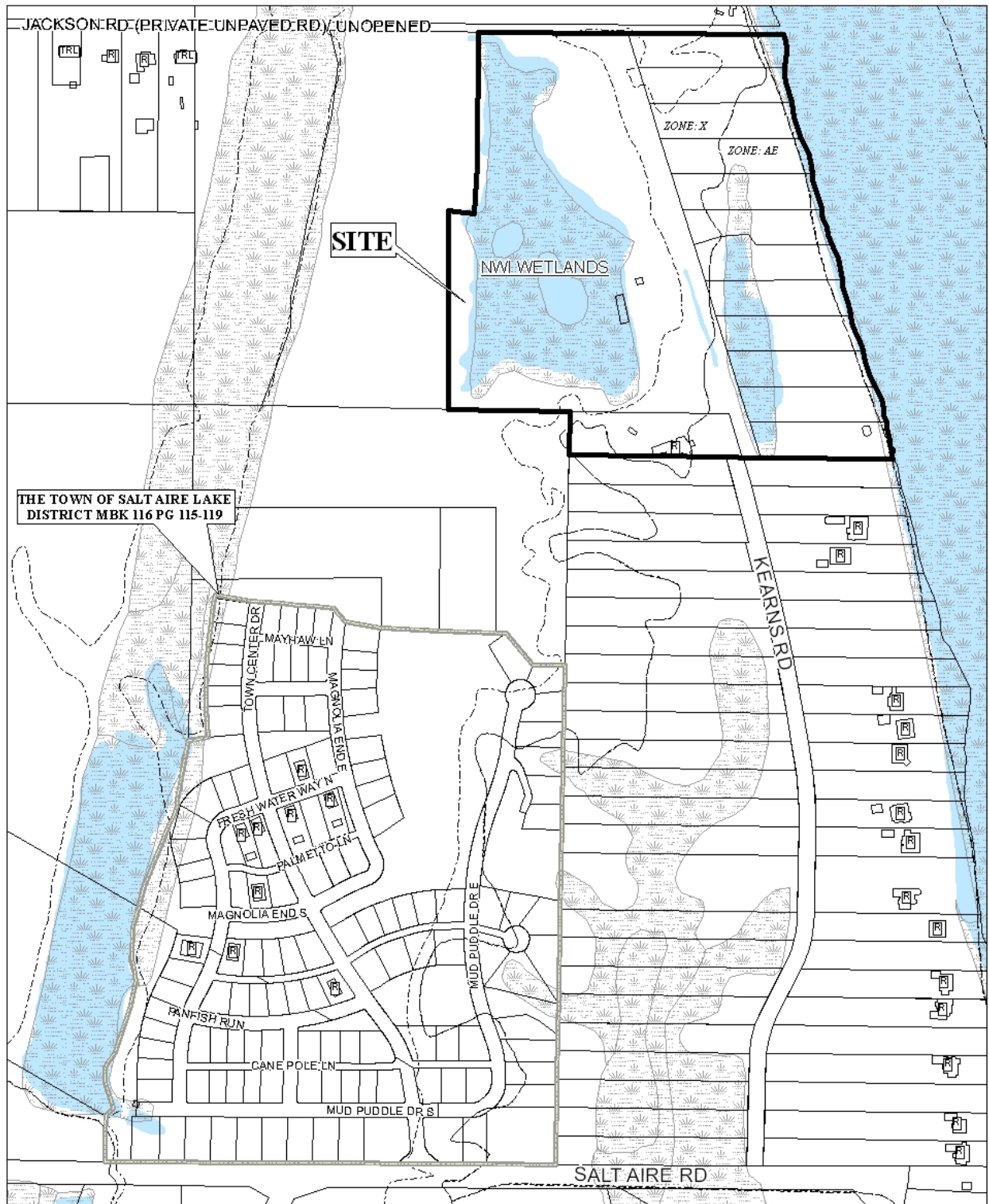
## LOCATOR MAP



APPLICATION NUMBER 9 DATE March 4, 2010  
APPLICANT The Town of Salt Aire Bay Front District Subdivision  
REQUEST Subdivision

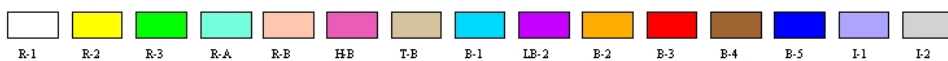


# THE TOWN OF SALT AIRE BAY FRONT DISTRICT SUBDIVISION



APPLICATION NUMBER 9 DATE March 4, 2010

LEGEND





# THE TOWN OF SALT AIRE BAY FRONT DISTRICT SUBDIVISION

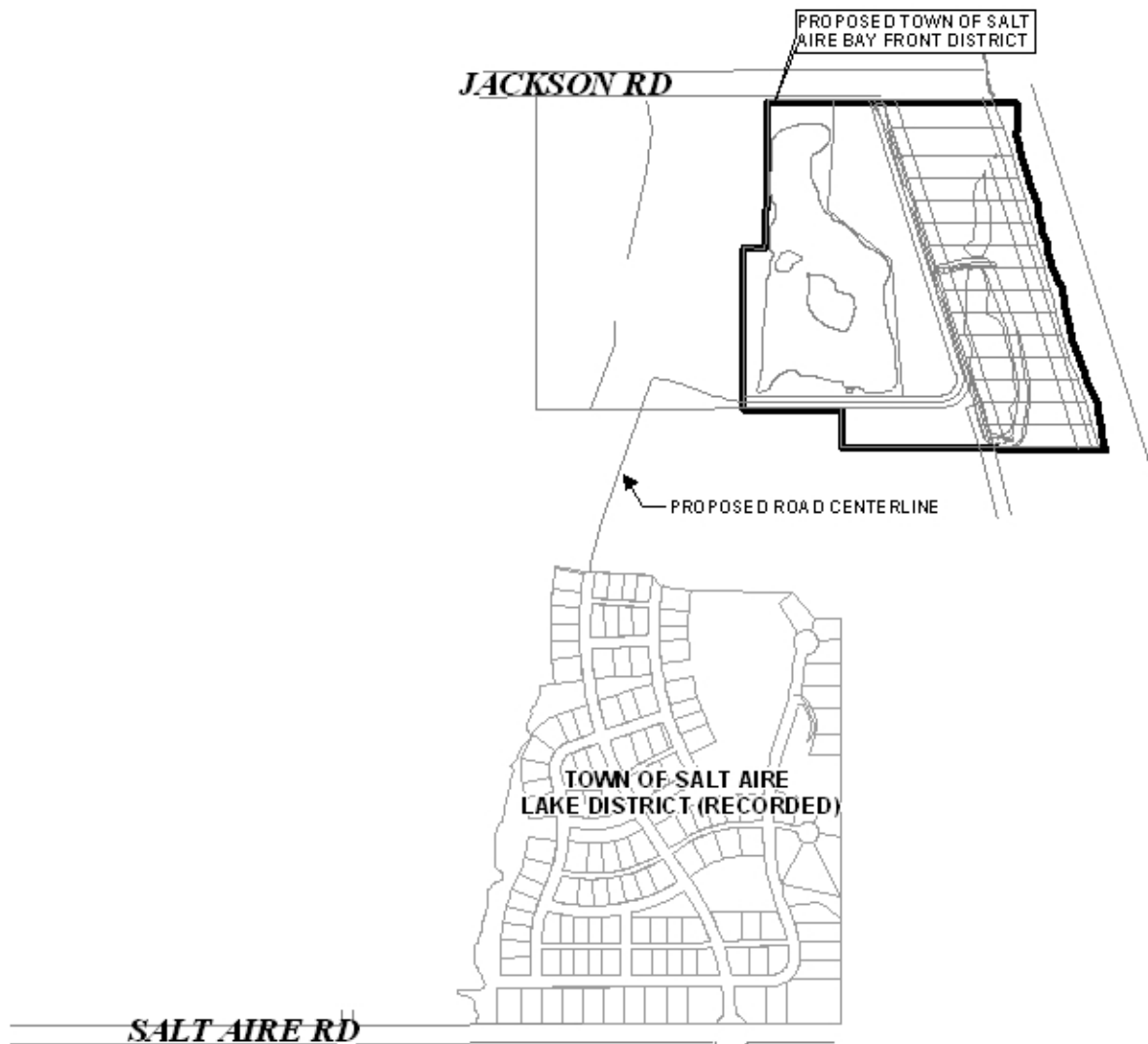


APPLICATION NUMBER 9 DATE March 4, 2010





## DETAIL SITE PLAN

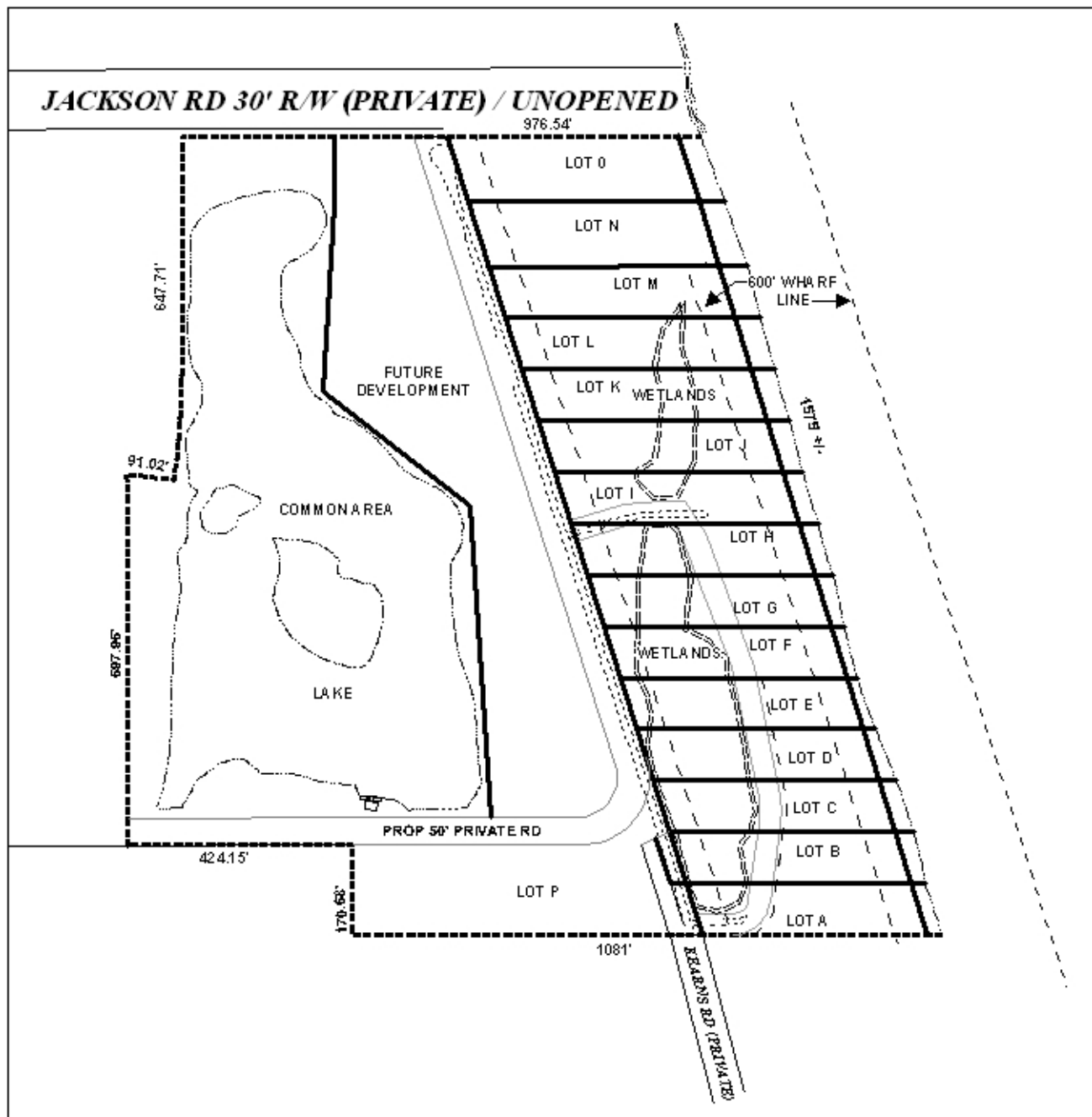


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