

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: September 18, 2014****DEVELOPMENT NAME**

Austal USA

**AREA OF PROPERTY**350 Dunlap Drive  
(West side of Dunlop Drive, 1375'± South of Addsko  
Road).**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

I-2, Heavy Industry

**AREA OF PROPERTY**

31.2± Acres

**CONTEMPLATED USE**Planned Unit Development Approval to amend a  
previously approved Planned Unit Development to allow  
multiple buildings on a single building site.**TIME SCHEDULE  
FOR DEVELOPMENT**

Phase 1: 1 – 2 Months

Phase 2: Immediately after completion of Phase 1

**ENGINEERING  
COMMENTS**

1. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot.

**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.

3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The proposed development must comply with all Engineering Department Policy Letters.

### **TRAFFIC ENGINEERING**

#### **COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. The site plan illustrates parking on the site along the outside of the roadway curve. Currently there is guardrail along the edge of the roadway in this area, which is not illustrated as to remain or to be removed. Any parking that may require backing into the roadway is not recommended. Excluding the parking area through the curve, the access point to the site is nearly 140' wide. It may be appropriate to split the access point into two smaller access points, given the position of the Guard Building.

### **URBAN FORESTRY**

#### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

### **FIRE DEPARTMENT**

#### **COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

### **REMARKS**

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple building on a single building site. More specifically, the applicant states that PUD is to allow construction of multiple buildings on the property for the Navy to outfit ships associated with the shipbuilding facilities.

This site most recently appeared before the Planning Commission at its January 19, 2012 meeting where the Commission approved a Planned Unit Development request to allow multiple buildings on a single building site. The Staff Report mentioned that the applicant was awarded a significant contract to build several Independence Class Littoral Combat Ships (LCS). Since that time, the previous approval has expired as a result of "capital restraints" that led to the project being placed on hold, but as the project appears to now have commenced again, a new request to the Planning Commission is required. This request is similar to the previously approved PUD; however, it appears the exact number, size and location of some of the buildings may differ slightly.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of

the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The applicant has submitted a phased development schedule detailing two phases of construction for this portion of the Austal campus. It should be noted that the applicant has stated that “the (exact) schedule for development is still contingent upon project funding and should be conceptual in nature”. Below is the proposed timetable and scope of work for each phase.

Phase 1: The installation of temporary manufactured office space. Construction will begin immediately and will last approximately 1-2 months. Temporary manufactured office space is anticipated to be utilized until the construction of an outfit building adjacent to the outfitting basin and the construction of a portion of the parking lot to support the initial construction.

Phase 2: Consists of the construction of the remainder of the buildings and the completion of the parking facilities. Construction will begin upon the completion of Phase 1, based on market conditions, and will last approximately 14-18 months.

It should be noted that as the applicant has only submitted a conceptual PUD site plan, Staff’s recommendation for the PUD request will only apply to the conceptual proposal - a revised PUD site plan may need to be submitted to the Planning Commission for Phase 2 if the site layout is altered, with associated labels and fees for approval.

The site plan does not depict:

- 1) The surface material of all areas that are not paved with asphalt, concrete, or landscaped;
- 2) Accessible parking spaces or routes;
- 3) Any dumpster(s) in compliance with Section 64-4.D.9. of the Zoning Ordinance or a note stating garbage collection will be via curb-side pick-up;
- 4) Any proposed signage information to include freestanding and monument sign structures;

The site plan illustrates numerous buildings on the site, which will require separate permitting at the time of development. The applicant did not provide any information regarding the number of warehouse workers nor the size of any proposed office space; however, the previous Staff Report from the 2012 approval stated that 3,800 employees would be anticipated within the life of the project for the entire Austal USA site. The Zoning Ordinance requires one parking space per three manufacturing/warehouse employees and one space per 300 square feet of office space. The site illustrates 380 ± parking spaces for this portion of the site; however, the Zoning Ordinance does not enforce a maximum number of parking spaces for a site, thus the number of proposed parking spaces would appear compliant with the minimum requirements.

It should be pointed out that the site plan does not depict any accessible spaces or routes. Although the Planning Division does not enforce accessible parking or ADA, certain aspects of

ADA do impact site design, and as PUDs are site plan specific, a revised PUD site plan should depict all required accessible spaces and design compliance with the requirements of the applicable building code section 1106 (and 2010 ADA Standards for Accessible Design); for all proposed accessible parking spaces and routes.

Further, the site plan depicts nearly 20 proposed spaces along Dunlap Drive which may require backing into the roadway. As such, Staff recommends the applicant coordinate with Traffic Engineering to determine feasibility of the proposed parking, and submit a revised site plan, should the site layout be revised.

Trees and landscaping are illustrated on the site plan and both appear to comply with the minimum requirements of the Zoning Ordinance. A revised tree and landscape plan, quantifying and illustrating full compliance with the tree and landscaping requirements of the Ordinance, should be required at the time of Land Disturbance.

It should be noted that it appears the applicant did not depict the proposed surface material on the site plan where the new buildings are proposed. The applicant should be aware that gravel, concrete, and asphalt are all required within this district and a revised site plan should depict which surface material is proposed.

It should be pointed out that GIS data depicts the entire site within the AE Flood Zone associated with Mobile River. The proximity of the site to water may mean that the site is environmentally sensitive, thus approvals from local, state and federal agencies for wetlands and flood zone issues may be required prior to development. The applicant should keep in mind Engineering Comments within this report and coordinate any site development with the Engineering Department.

### **RECOMMENDATION**

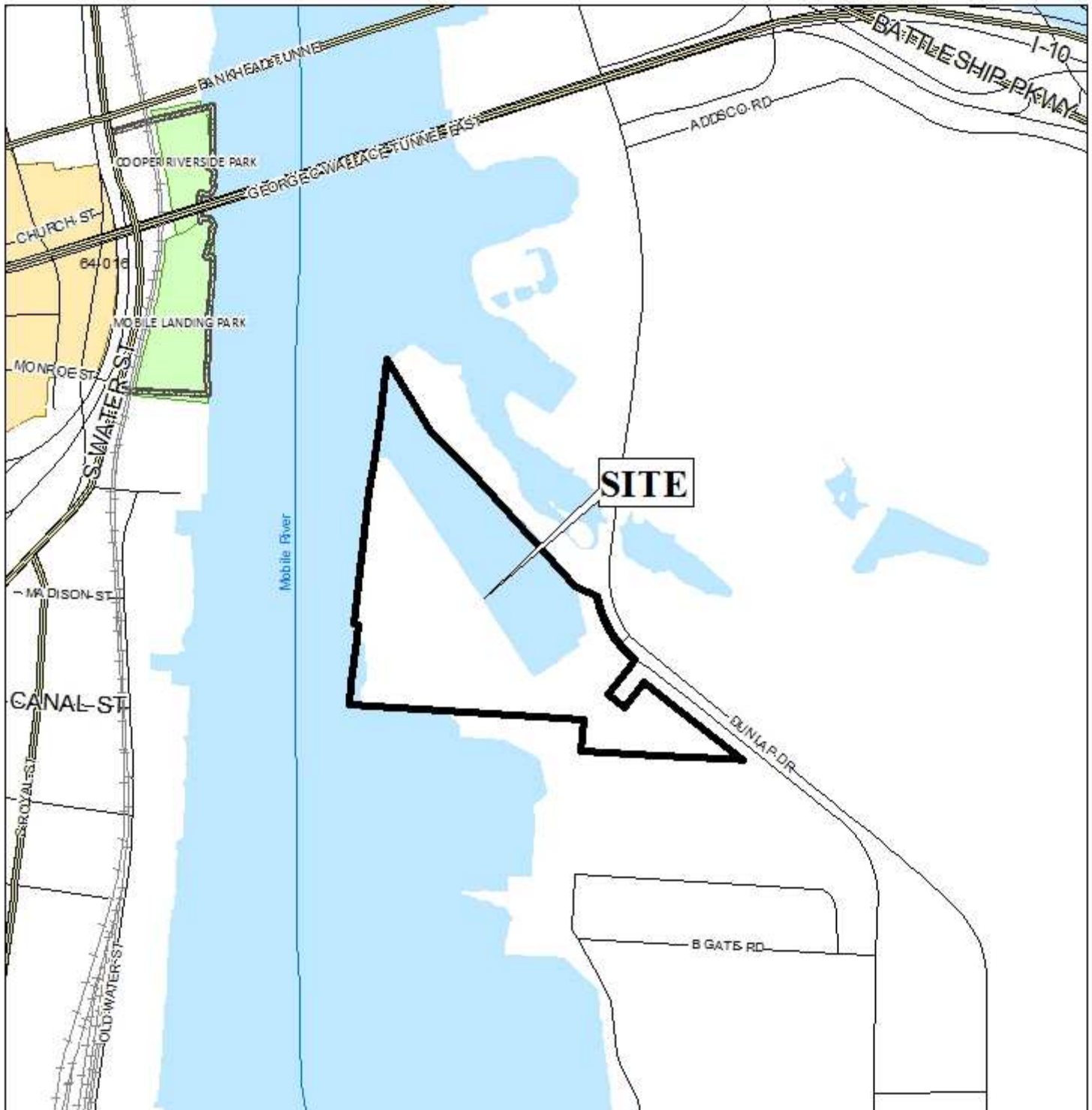
This application is recommended for approval, subject to the following conditions:

- 1) Revision of the site plan to illustrate the surfacing material of the area surrounding the proposed buildings;
- 2) Revision of the site plan to illustrate compliant accessible parking spaces and design compliance with the requirements of the applicable building code section 1106 (and 2010 ADA Standards for Accessible Design);
- 3) Revision of the site plan to depict any proposed dumpster(s) on the site plan in compliance with Section 64-4.D.9. of the Zoning Ordinance or placement of a note on the site plan stating that garbage collection will be via curbside pick-up;
- 4) Revision of the site layout, if necessary, to reflect Engineering and/or Traffic Engineering comments;
- 5) Compliance with Engineering comments: *(1. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage,*

*irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department Policy Letters.);*

- 6) Compliance with Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. The site plan illustrates parking on the site along the outside of the roadway curve. Currently there is guardrail along the edge of the roadway in this area, which is not illustrated as to remain or to be removed. Any parking that may require backing into the roadway is not recommended. Excluding the parking area through the curve, the access point to the site is nearly 140' wide. It may be appropriate to split the access point into two smaller access points, given the position of the Guard Building.);*
- 7) Compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64.);
- 8) Compliance with Fire Department comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);
- 9) Revision of layout, if necessary, to reflect Engineering, Traffic Engineering, Urban Forestry, and Fire Department comments;
- 10) Submission of two copies of the revised site plans to the Planning Division of Urban Development;
- 11) Submission of a new Planned Unit Development application to the Planning Commission for Phase 2 if the site layout is altered, with associated labels and fees; and
- 12) Full compliance with all other Municipal codes and ordinances.

# LOCATOR MAP



APPLICATION NUMBER 9 DATE September 18, 2014

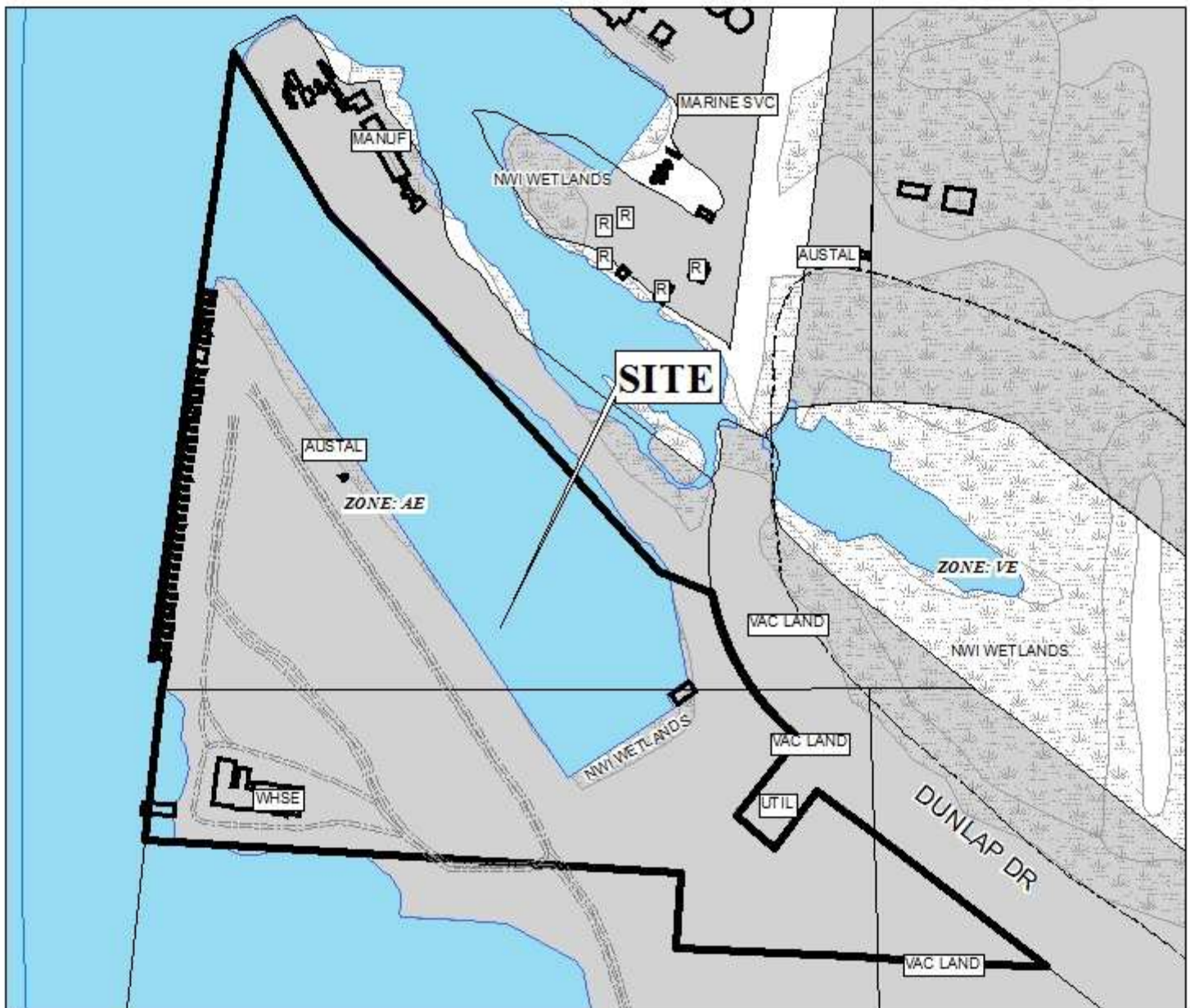
APPLICANT Thompson Engineering

REQUEST Planned Unit Development





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use. Residences are located to the north of the site.

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APPLICANT Thompson Engineering

REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use. Residences are located to the north of the site.

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REQUEST Planned Unit Development





# SITE PLAN



The site illustrates the future buildings, exist buildings, and parking.

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APPLICANT Thompson Engineering

REQUEST Planned Unit Development



NTS