

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: July 15, 2004**

<b><u>DEVELOPMENT NAME</u></b>	The Oaks at Knollwood
<b><u>LOCATION</u></b>	Southeast corner of Southland Drive and Knollwood Drive.
<b><u>CITY COUNCIL DISTRICT</u></b>	District 6
<b><u>PRESENT ZONING</u></b>	R-3, Multi-Family Residential
<b><u>AREA OF PROPERTY</u></b>	10 ½ Acres
<b><u>CONTEMPLATED USE</u></b>	Multiple buildings on a single building site for a residential, condominium, town-home complex with private streets and shared parking.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Phase One—September 2004
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.
<b><u>URBAN FORESTRY COMMENTS</u></b>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<b><u>REMARKS</u></b>	The applicant proposes to develop the site with 90 attached residential units consisting of multiple buildings. To develop multiple buildings on one lot requires Planned Unit Development (PUD) approval.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to

consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The site received Tentative Approval as a Lot A, The Preserve Subdivision. The staff has had numerous meetings with developer's agent; however, some of the terms used in the application are inconsistent with Mobile's ordinances and regulations and at this point the specific concerns should be addressed.

As illustrated on the site plan, the individual units will be served by either a marginal access road, minor street or alley containing variable rights-of-way. Rights-of-ways would indicate that either the streets are to be constructed to city standards and accepted by the City for maintenance, or that private streets are proposed; either situation would require subdivision approval. This was explained to the agent; however, no subdivision application was submitted, and based upon extensive discussion with the agent, these "roads" and "alleys" are simply internal circulation drives similar to those serving other types of multi-family residential developments. Nevertheless, it should be noted that the minimum width needed for two-way traffic is 24-feet and additional width may be needed to comply with Traffic Engineering requirements.

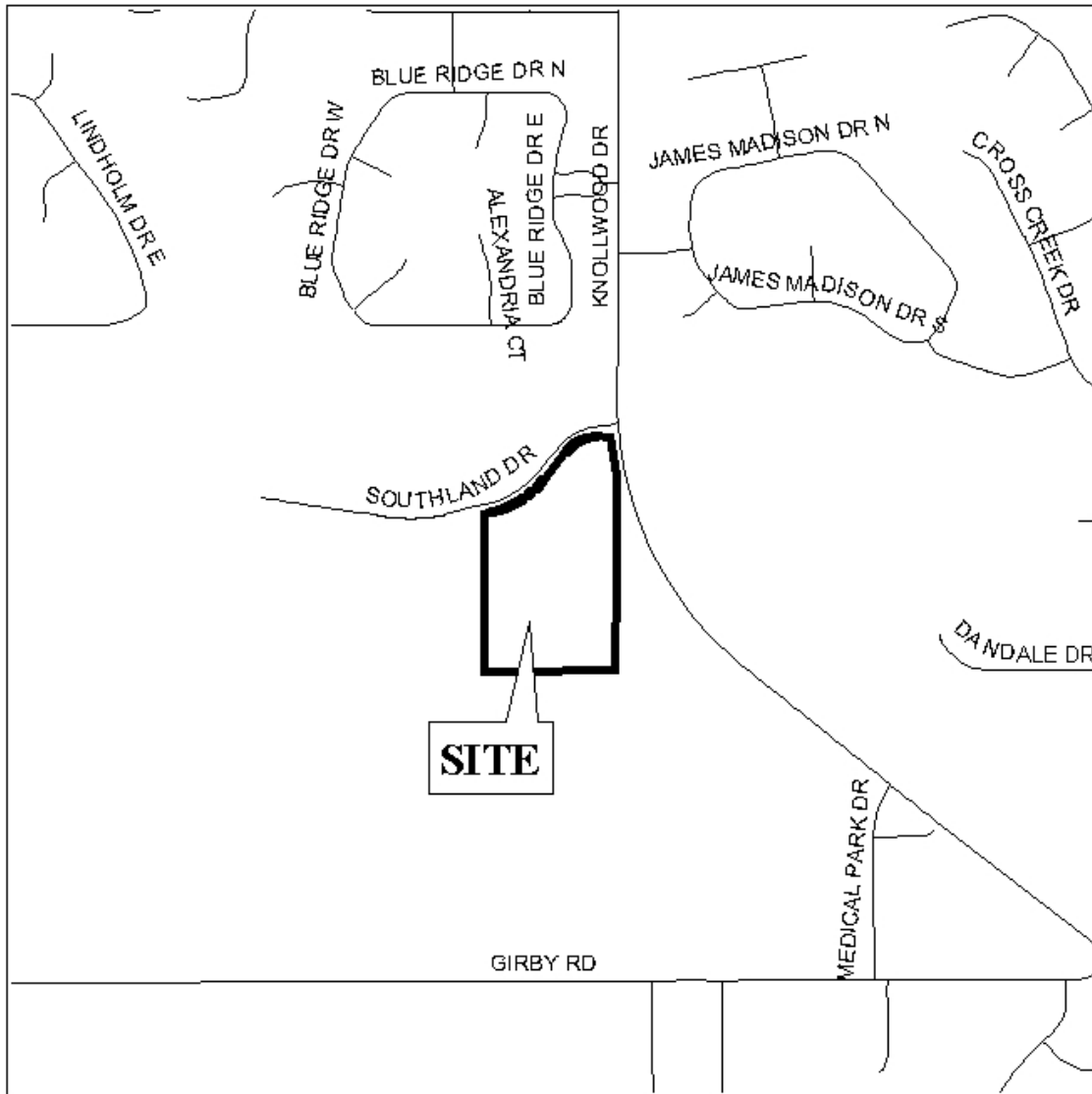
In regard to parking, each unit will have a two-car garage, and there are multiple parking areas scattered throughout site; the number of parking spaces exceeds the minimum requirements of the Zoning Ordinance.

The applicant proposes an accessory structure along Southland Drive, which would be located approximately 20-feet from the front property line. The standard setback is 25-feet; however, the streetscape will contain a sidewalk, street plantings, lighting and benches, and the slightly reduced setback is more characteristic of the urban community setting the developer is proposing.

As with any new construction, full compliance with the landscaping and tree planting requirements of the Ordinance will be required.

**RECOMMENDATION** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) that Lot A, The Preserve Subdivision be recorded prior to the issuance of any building permits for the site; 2) that the marginal access roads, minor streets and alleys simply be developed as internal circulation drives and comply with the Zoning Ordinance (minimum width of 24-feet for two-way traffic) and Traffic Engineering requirements; 3) full compliance with the landscaping and tree planting requirements of the Zoning Ordinance; 4) the provision of a sidewalk, plantings, benches and lighting along Southland Drive as stating in the application; and 5) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 8 & 9 DATE July 15, 2004

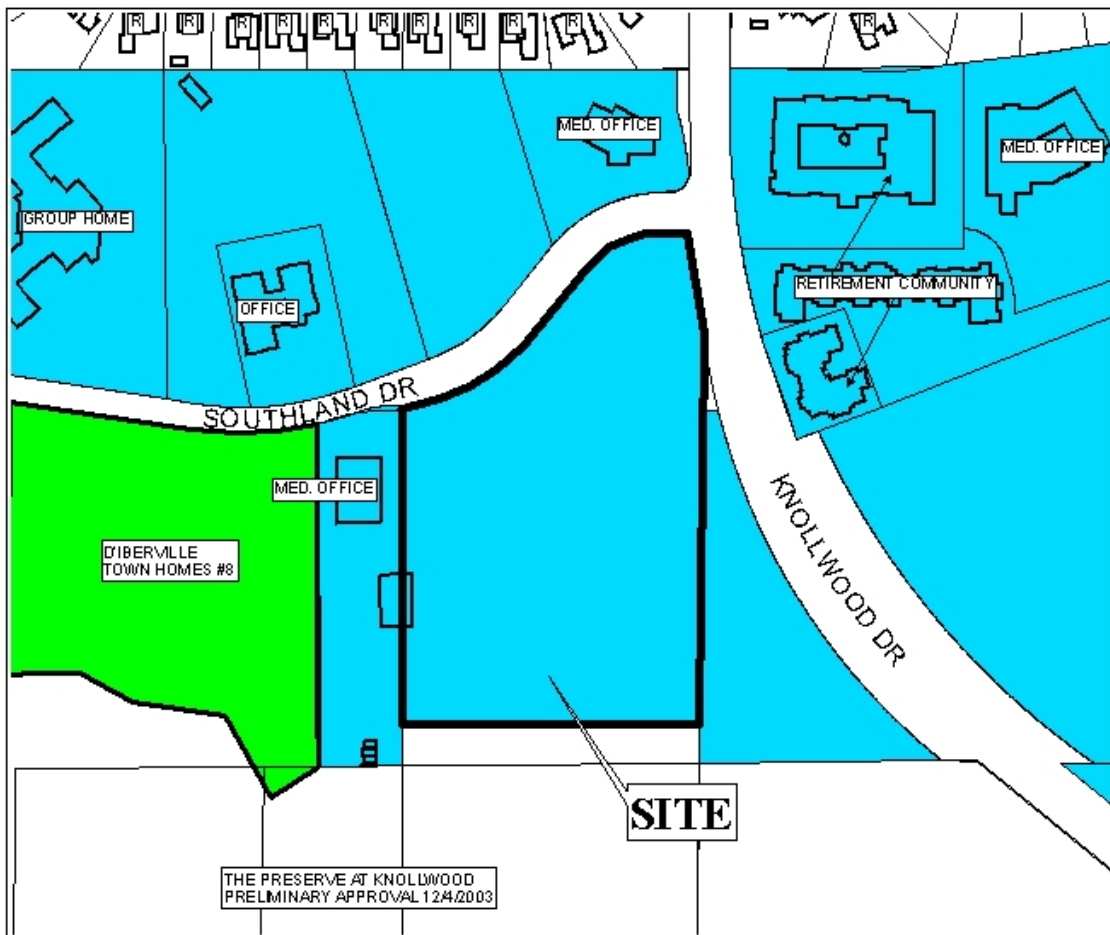
APPLICANT The Oaks at Knollwood

REQUEST Planned Unit Development



NTS

# **PLANNING COMMISSION VICINITY MAP - EXISTING ZONING**



Located to the North of the site is a group home, office, and medical office; to the East is a retirement community. Located to the South of the site is vacant property; to the West of the site is a medical office.

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REQUEST Planned Unit Development

LEGEND

R-1

R-2

R-3

R-B

H-B

B-1

LB-2

B-2

B-3

B-4

B-5

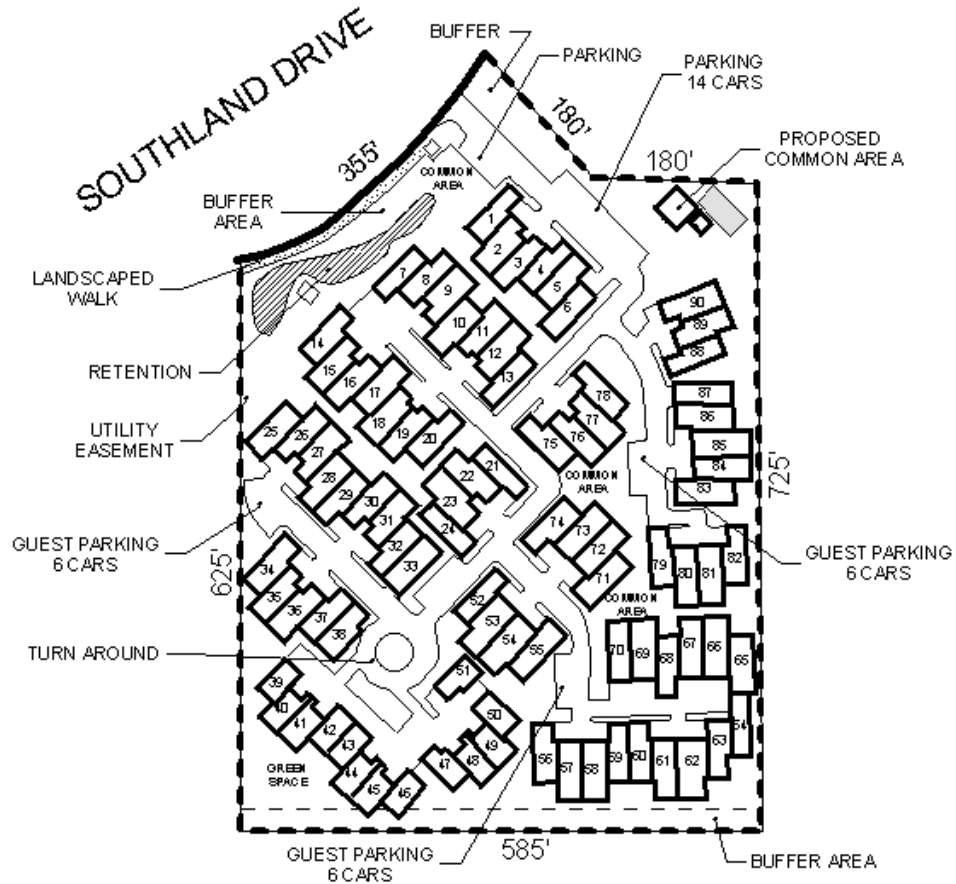
I-1

I-2

NTS



## SITE PLAN



The site is located at the Southeast corner of Southland Drive and Knollwood drive.  
The plan illustrates the proposed development.

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