

## **TAYLOR'S EAST RIDGE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 4.0± acre subdivision which is located on the South side of Taylor's Drive (private street), 370'± East of Ellen Drive. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and individual septic tanks. The purpose of this application is to create two (2) legal lots of record from one (1) existing lot of record.

Section VIII.D. of the Subdivision Regulations states, "In order to allow for the family division of land, a private street subdivision consisting of five (5) lots or fewer, where the purpose of the subdivision is to divide the property amongst family members, may be considered. It should be noted that this the applicant states that one home is the applicants and the other is their mother's, therefore resulting in a family subdivision. Furthermore, the proposed Subdivision will result in three (3) lots that have their Taylor's Drive as their only street frontage.

The proposed Lots 1 and 2 front Taylor's Drive, a private road with a 50' right-of-way width. If approved, the 50' right-of-way to Taylor's Drive should be retained on the Final Plat.

The preliminary plat illustrates a 25' minimum building setback line along Taylor's Drive for both lots. If approved, the 25' minimum building setback lines for Lots 1 and 2 should be retained on the Final Plat.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots each exceed the 15,000 square foot minimum lot size requirement for lots served by public water and individual septic systems. The lot size information for each lot is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

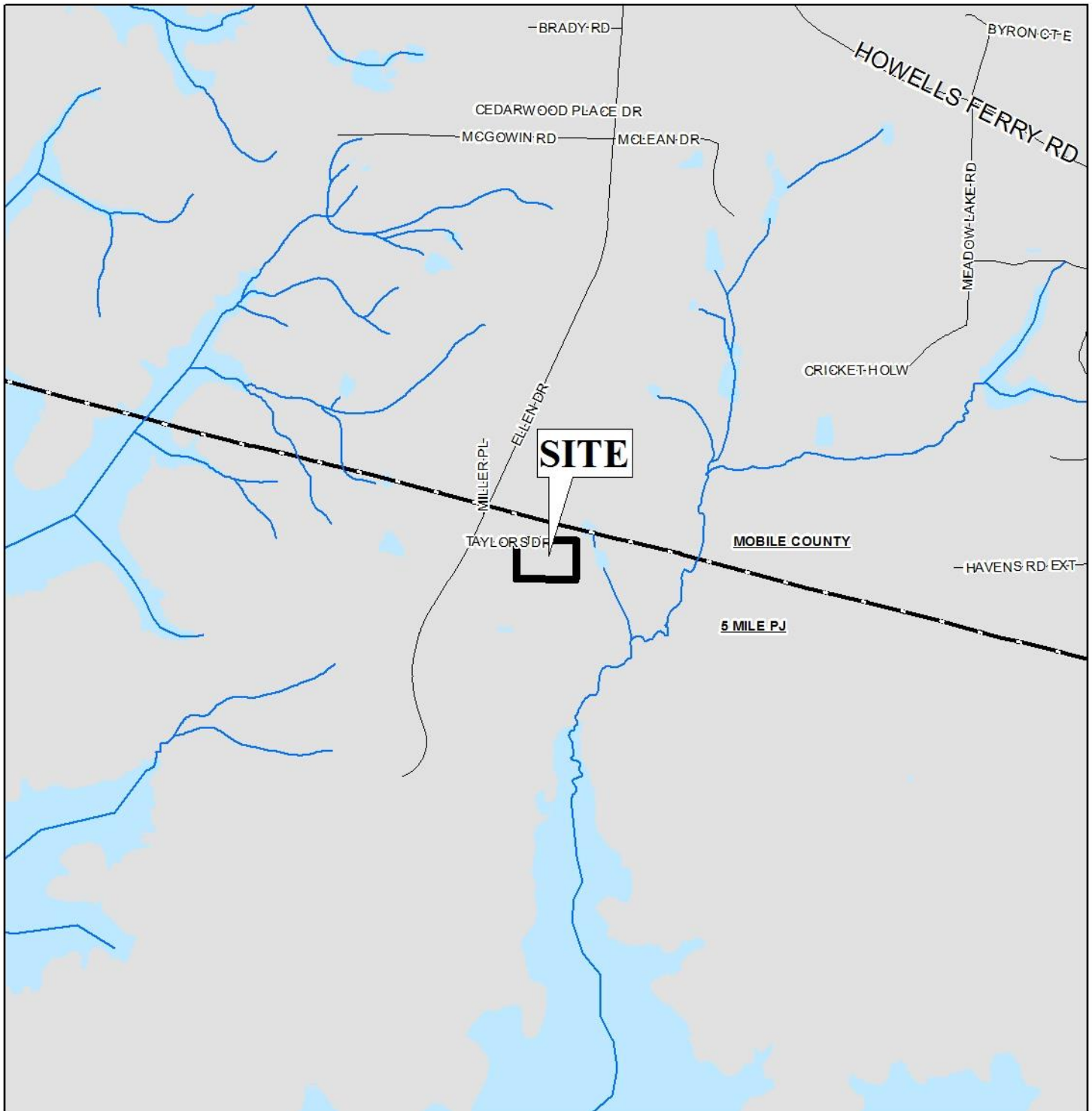
As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lots 1 and 2 are limited to one curb cut each, with the size, design and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 50' right-of-way width to Taylor's Drive (private street);
- 2) Retention of 25' minimum building setback line along Taylor's Drive for Lots 1 and 2;
- 3) Retention of the lot size information in both square and in acres on the Final Plat;
- 4) Placement of a note on the Final Plat stating that Lot 1 and Lot 2 are limited to one curb cut each, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);* and
- 7) Compliance with Fire Comment: *(Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

# LOCATOR MAP



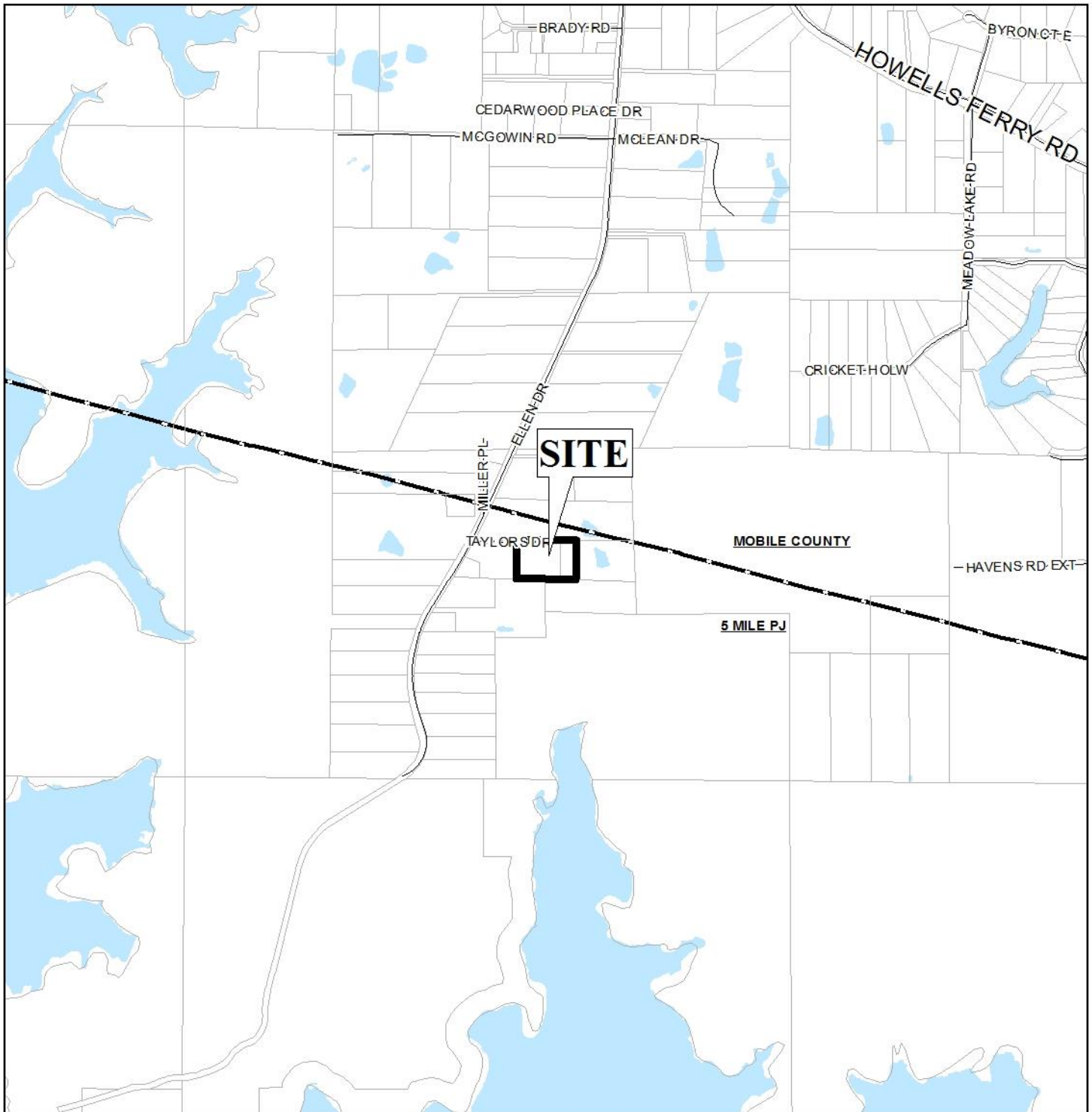
APPLICATION NUMBER 9 DATE July 19, 2018

APPLICANT Taylor's East Ridge Subdivision

REQUEST Subdivision



# LOCATOR ZONING MAP



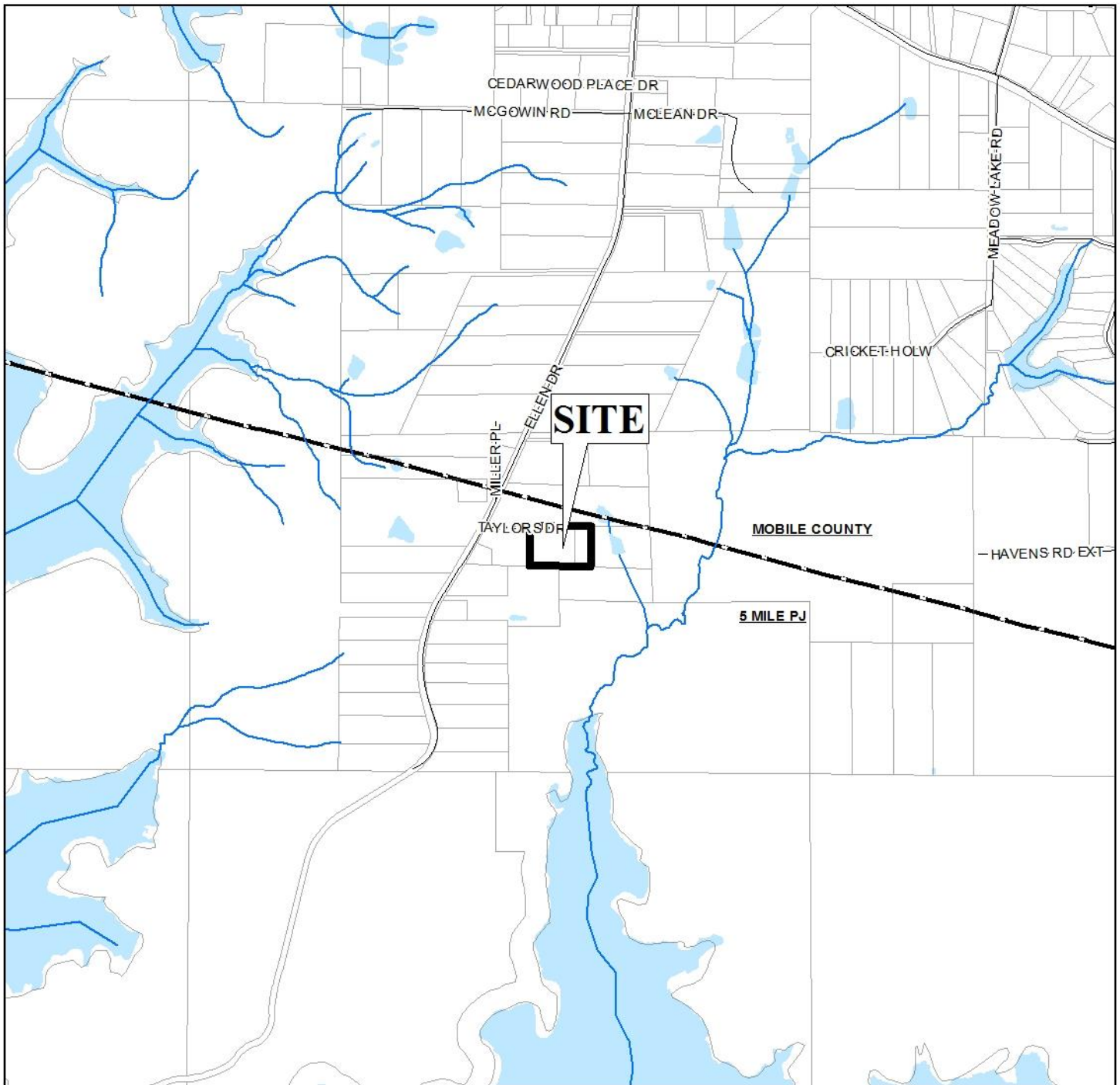
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# FLUM LOCATOR MAP



APPLICATION NUMBER 9 DATE July 19, 2018

APPLICANT Taylor's East Ridge Subdivision

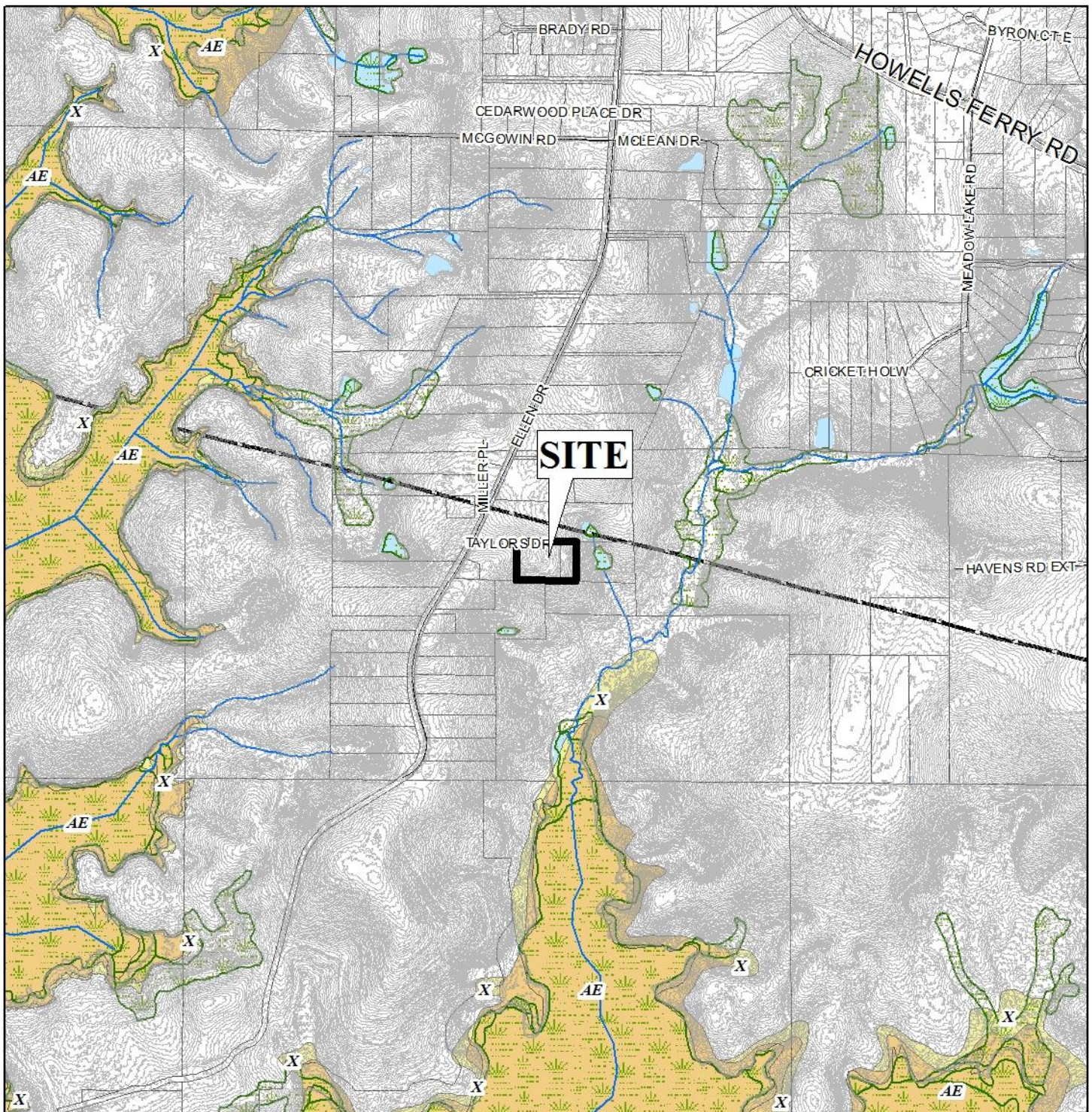
REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 9 DATE July 19, 2018

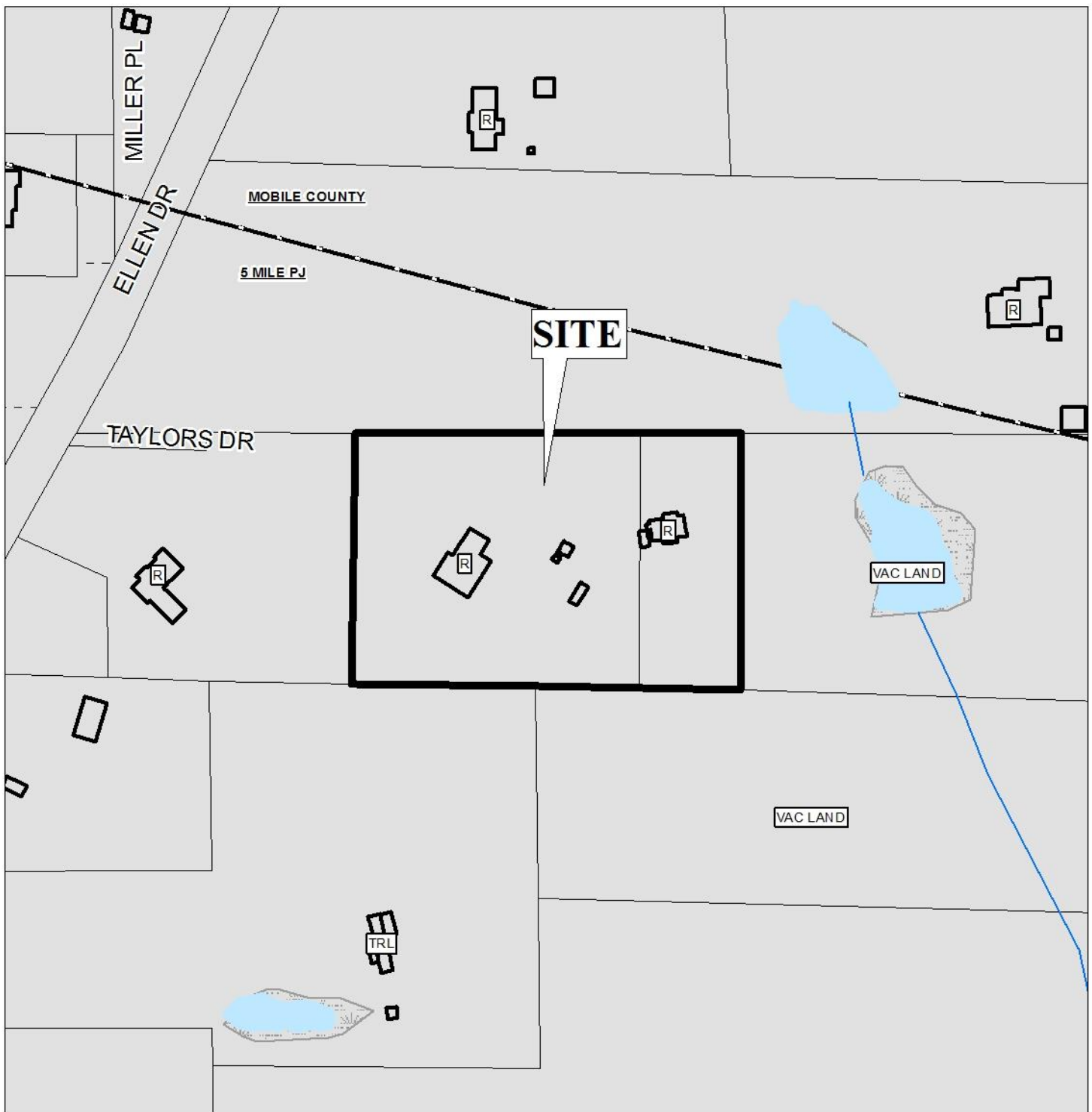
APPLICANT Taylor's East Ridge Subdivision

REQUEST Subdivision





# TAYLOR'S EAST RIDGE SUBDIVISION



APPLICATION NUMBER 9 DATE July 19, 2018

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



# TAYLOR'S EAST RIDGE SUBDIVISION

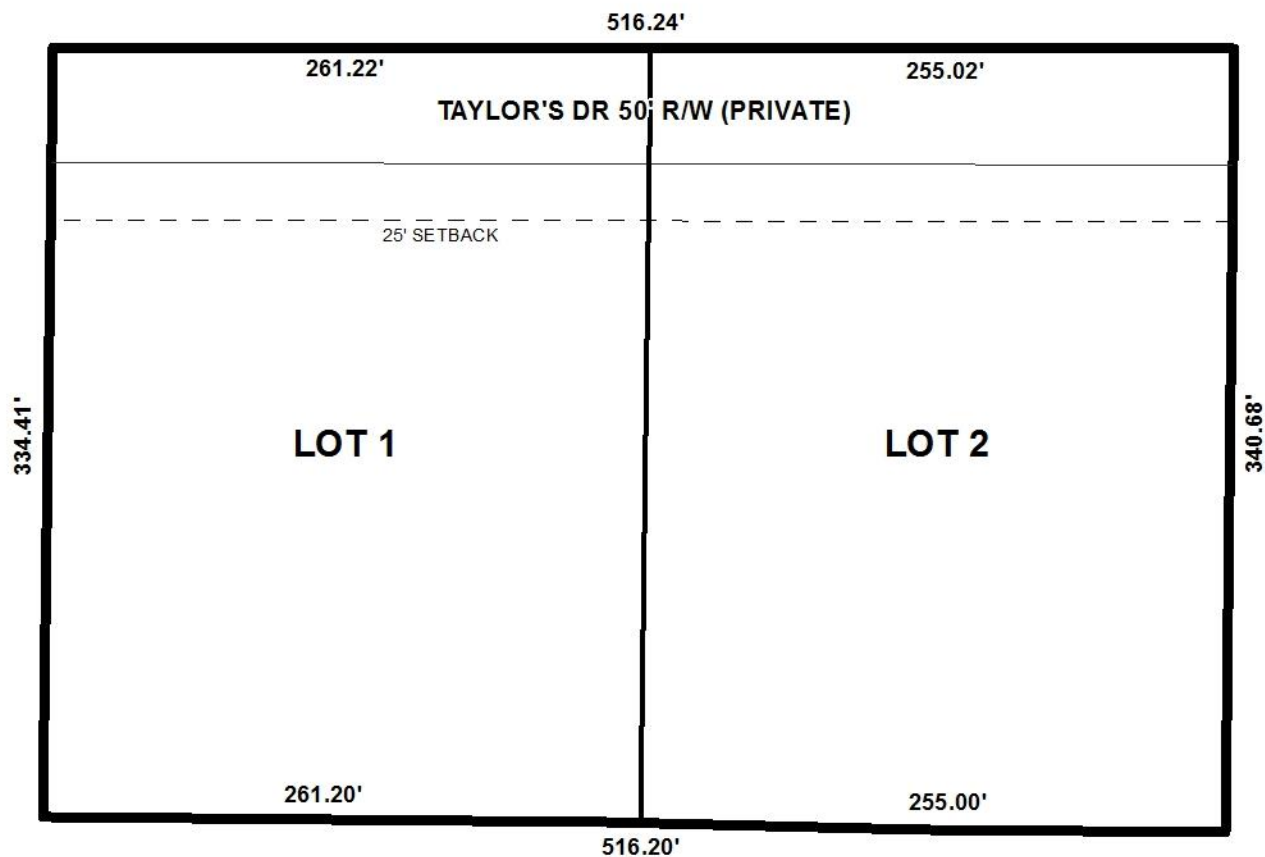


APPLICATION NUMBER 9 DATE July 19, 2018





# DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE July 19, 2018

APPLICANT Taylor's East Ridge Subdivision

REQUEST Subdivision



