

TAYLOR POINTE SUBDIVISION, UNIT TWO, PART C **RESUBDIVISION OF LOT 51**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

Mobile Area Water and Sewer Systems Comments: No Comments.

The plat illustrates the proposed 2-Lot, 0.6± acre subdivision located at the Northwest terminus of Nadine Lane, within the planning jurisdiction. The applicant states that the site is served by public water and sanitary sewer facilities.

Unit Two of Taylor Pointe Subdivision was approved by the Planning Commission at its October 4, 2012 meeting, and Units A, B, and C have been recorded in Mobile County Probate Court. The applicant now wishes to subdivide Lot 51; thus, the purpose of this application is to create two legal lots of record from one legal lot of record.

The site fronts Nadine Lane, a minor street with curb and gutter, and an adequate 50' right-of-way.

As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Nadine Lane, with their sizes, locations and designs to be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat indicates a 25' building setback line for each of the proposed lots as required by Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat. It should be noted that the preliminary plat illustrates a 7.5' easement along the front property line, and a 50' easement along the rear property line. A note should be placed on the site plan, as well as the Final Plat if approved, that no structures will be erected in any easement.

Each lot meets the minimum size requirements of the Subdivision Regulations and is labeled in square feet, but not acres. If approved, each lot size should be labeled with its respective size in both square feet and acres on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

It should be noted that the required seven copies of the recently recorded plat of Taylor Pointe Subdivision, Unit Two, Part C, do not appear to have been submitted to the Planning and Zoning

Department. If approved, these copies of the previously-approved Final Plat should be submitted prior to the signing of this plat.

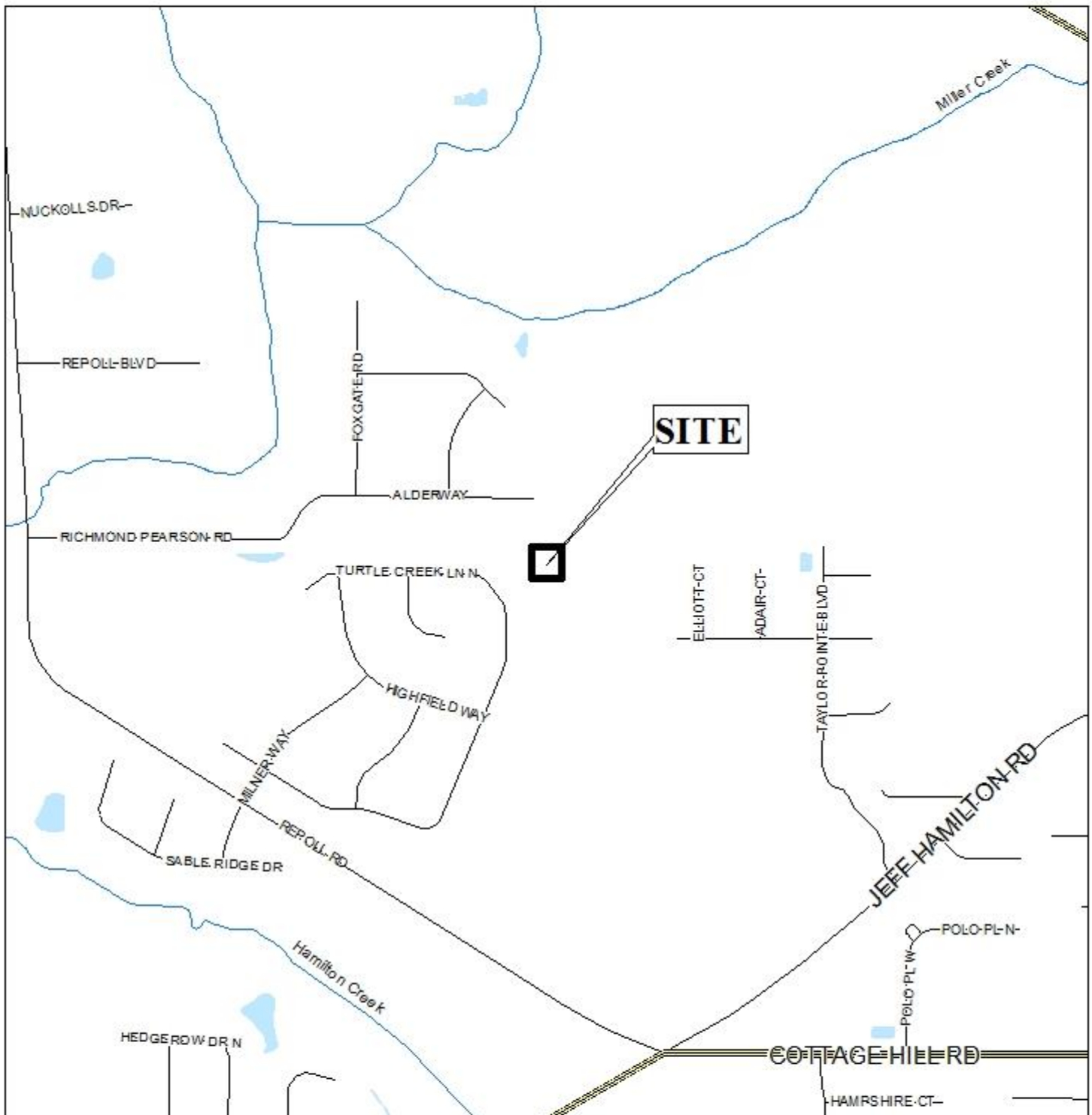
The site is located in the county. Therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

The proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) placement of a note stating that each lot is limited to one curb cut to Nadine Lane, with their sizes, location, and design to be approved by Mobile County Engineering and conform to AASHTO standards;
- 2) retention of the building setback line for each lot on the Final Plat;
- 3) placement of a note stating that no structures shall be erected in any easement;
- 4) revision of the Final Plat to indicate the lot sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) provision of 7 copies of the recorded plat for Taylor Pointe Subdivision, Unit Two, Part C prior to the signing of the Final Plat;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 7) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: (*“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*); and
- 8) compliance with Fire Department comments: (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*).

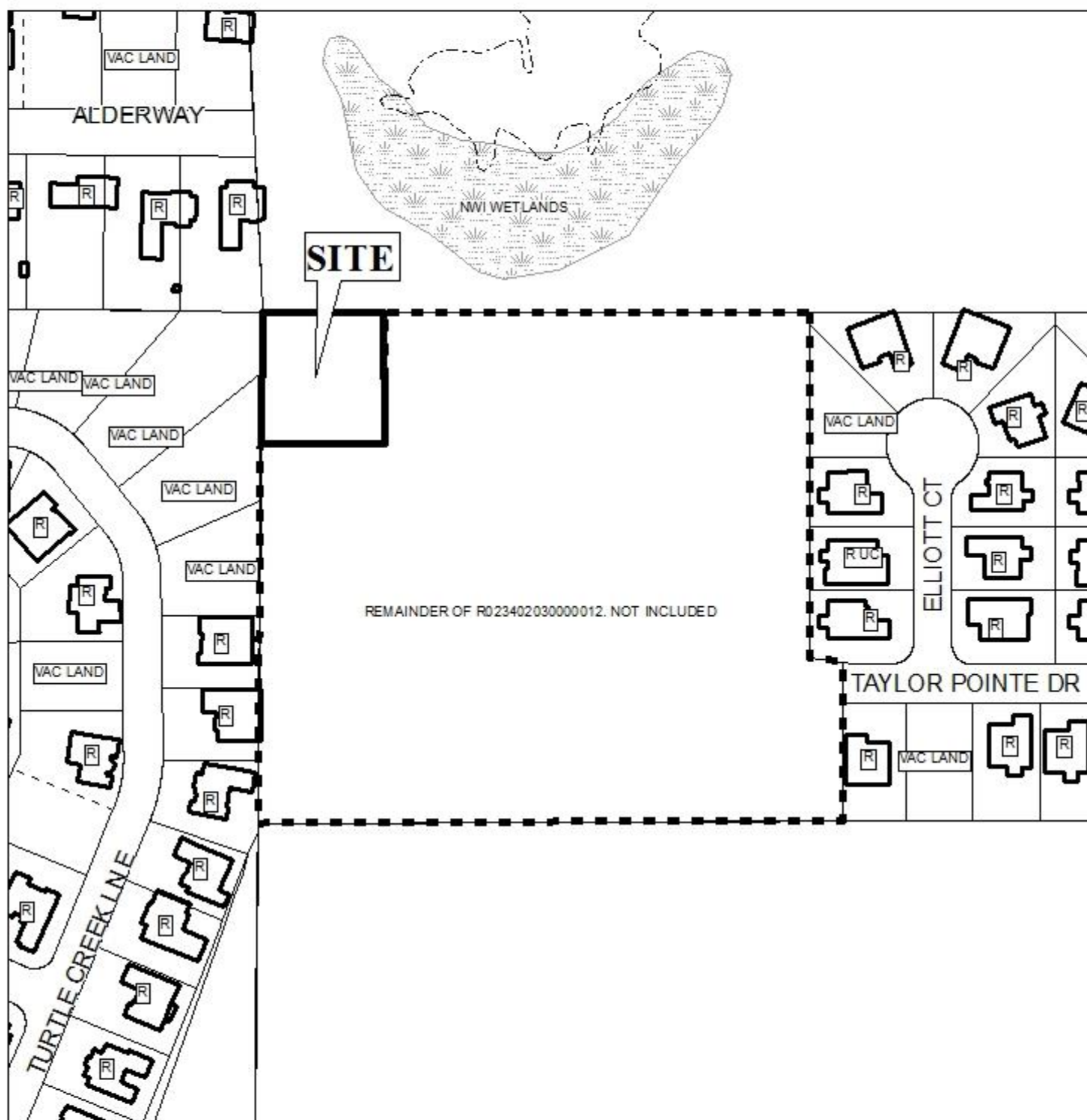
LOCATOR MAP



APPLICATION NUMBER 9 DATE December 3, 2015
APPLICANT Taylor Pointe Subdivision, Unit Two, Part C, Resubdivision of Lot 51
REQUEST Subdivision



TAYLOR POINTE SUBDIVISION, UNIT TWO, PART C, RESUBDIVISION OF LOT 51



APPLICATION NUMBER 9 DATE December 3, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



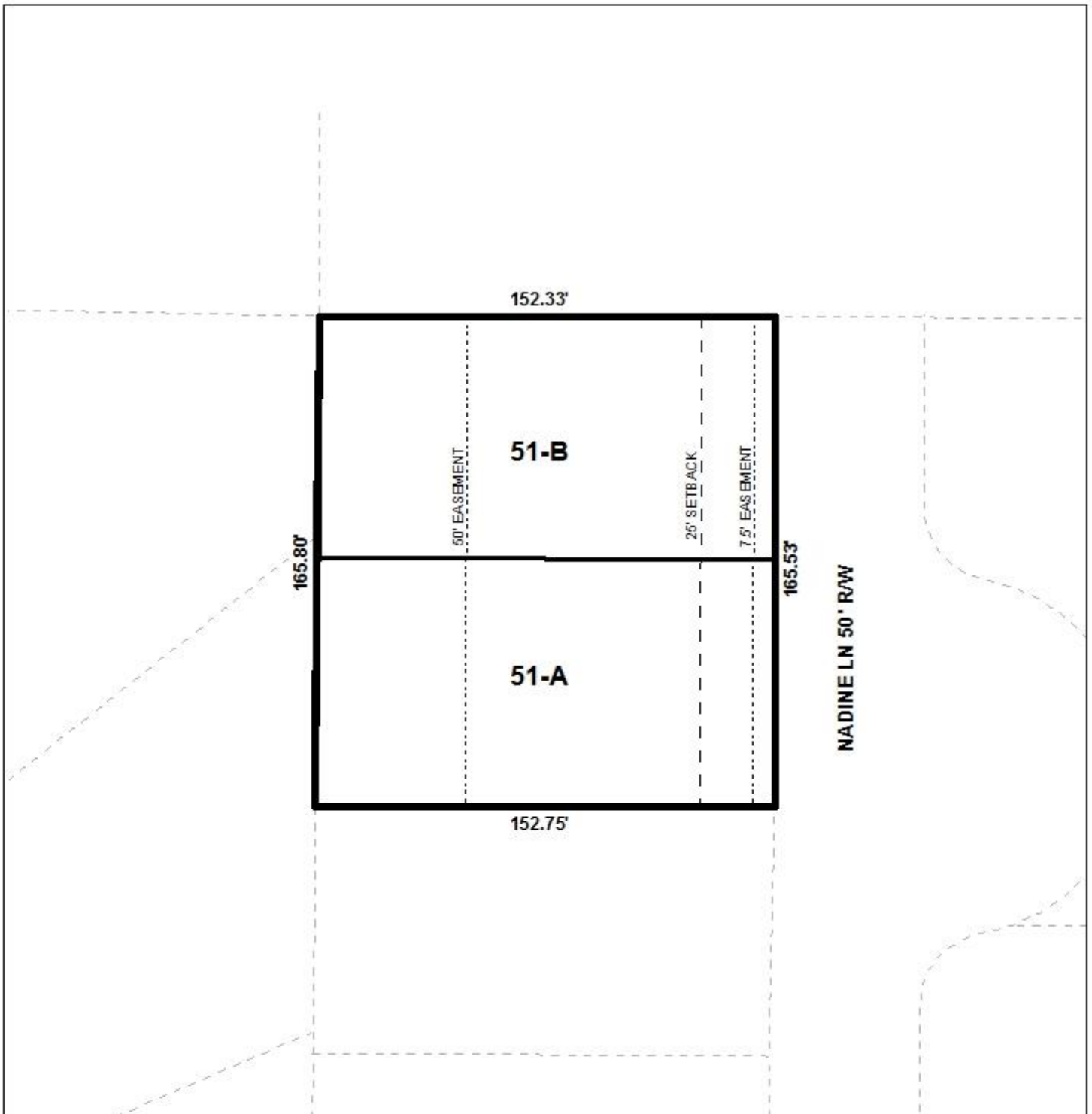
**TAYLOR POINTE SUBDIVISION,
UNIT TWO, PART C, RESUBDIVISION OF LOT 51**



APPLICATION NUMBER 9 DATE December 3, 2015



DETAIL SITE PLAN



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APPLICANT Taylor Pointe Subdivision, Unit Two, Part C, Resubdivision of Lot 51
REQUEST Subdivision

