

## **SUNRISE SUBDIVISION**

**Engineering Comments:** The following comments should be addressed prior to acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 17 - #76) the LOT will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the corner of Old Shell Road and 5<sup>th</sup> Avenue.
- E. Add a signature block for the Traffic Engineer and City Engineer.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- H. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.

**Traffic Engineering Comments:** Site is denied access to Old Shell Road, and limited to two curb cuts to 5<sup>th</sup> Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**Urban Forestry Comments:** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**Fire Department Comments:** All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**MAWSS Comments:** MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.50± acre, 1-lot subdivision which is located on the Southwest corner of Old Shell Road and 5<sup>th</sup> Avenue, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a single legal lot of record from ten (10) legal lots of record. The site was part of the D.E.H. Subdivision and Rezoning request which were denied at the Planning Commission's April 4, 2013 meeting.

The lot size is labeled in square feet and acres, and exceeds the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size should be retained in square feet and acres on the Final Plat, if approved.

The site fronts onto Old Shell Road, a major street, which should have a right-of-way of 100'. The site plan illustrates the right-of-way as varying. The site also fronts onto an unopened right-of-way associated with 5<sup>th</sup> Avenue. The plat illustrates 5<sup>th</sup> Avenue as having a right-of-way of 40'. Dedication should be made to provide 25' from the centerline of 5<sup>th</sup> Avenue, and to provide 50' from the centerline of Old Shell Road, if necessary. If approved, a note should be placed on the Final Plat limiting the lot to two curb cuts to 5<sup>th</sup> Avenue and denied direct access to Old Shell Road, with the size, design, and location of the curb cut to be approved by Traffic Engineering and conform to AASHTO standards. As 5<sup>th</sup> Avenue is unimproved, development of the site cannot occur until it is improved to City of Mobile standards, to include curb and gutter.

The preliminary plat illustrates the 25' minimum building setback line along both frontages, as required in Section V.D.9. If approved, the minimum building setback line should be retained on the Final Plat as well, and reflect any required dedication.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following:

- 1) dedication to provide 50' from the centerline of Old Shell Road, if necessary;
- 2) dedication to provide 25' from the centerline of 5<sup>th</sup> Avenue;
- 3) retention of the 25' minimum building setback line, adjusted for any required dedication;
- 4) retention of the lot size in square feet and acres, adjusted for any required dedication;
- 5) placement of a note stating the development is limited to two curb-cuts to 5<sup>th</sup> Avenue and denied direct access to Old Shell Road with the size, location and design of all curb cuts is to be approved by Traffic Engineering and conform to AASHTO standards subject to an approved Planned Unit Development;
- 6) placement of a note stating that development of the site is denied until such time as 5<sup>th</sup> Avenue is improved to City of Mobile public street standards, to include curb and gutter;
- 7) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any*

*land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 17 - #76) the LOT will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the corner of Old Shell Road and 5<sup>th</sup> Avenue. E. Add a signature block for the Traffic Engineer and City Engineer. F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. H. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.);*

- 8) *compliance with Fire Department comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 9) *compliance with Traffic Engineering comments (Site is denied access to Old Shell Road, and limited to two curb cuts to 5<sup>th</sup> Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).;*
- 11) *placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.*

# LOCATOR MAP



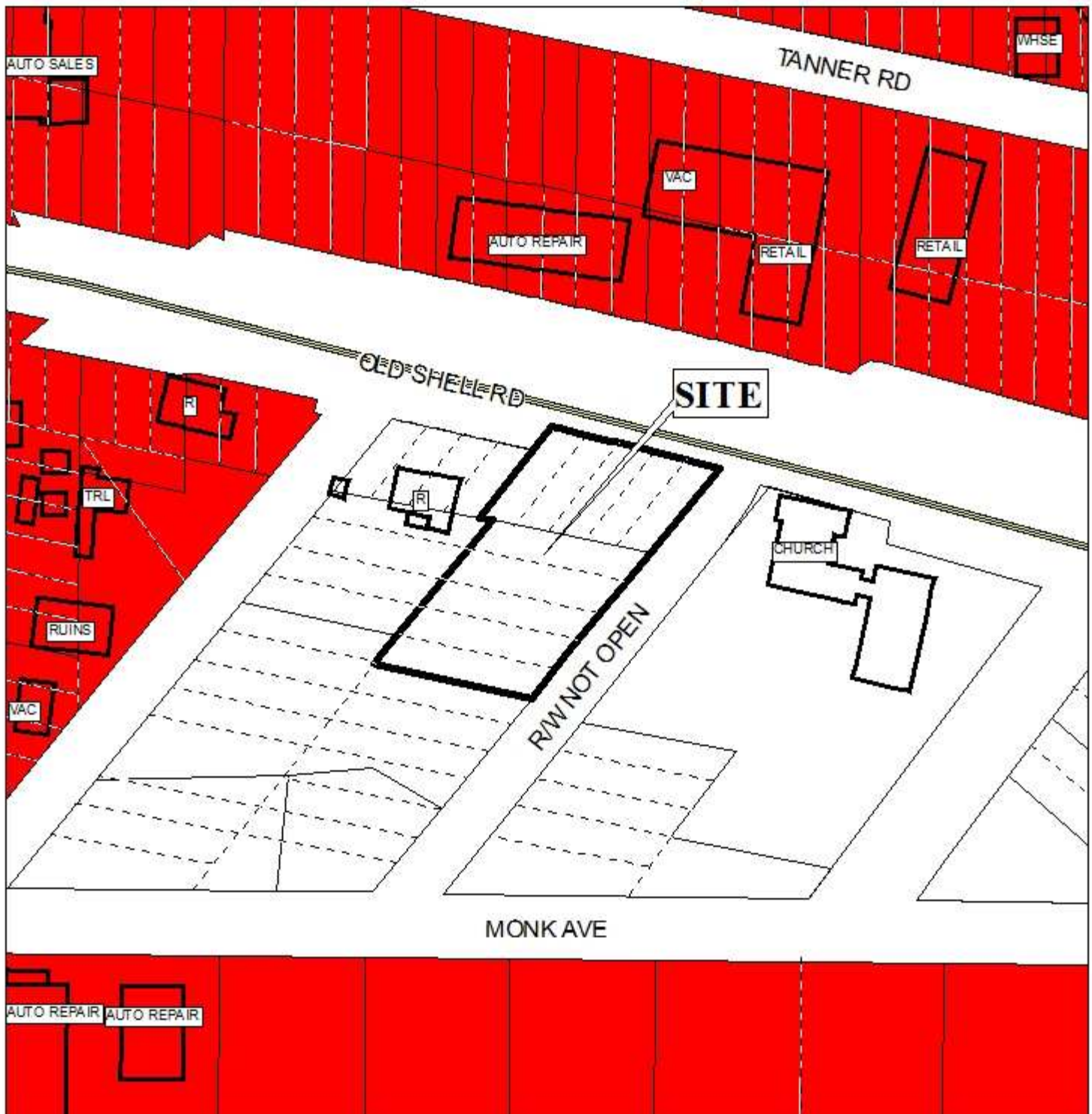
APPLICATION NUMBER 9 DATE June 5, 2014

APPLICANT Sunrise Subdivision

REQUEST Subdivision



# SUNRISE SUBDIVISION



APPLICATION NUMBER 9 DATE June 5, 2014

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----



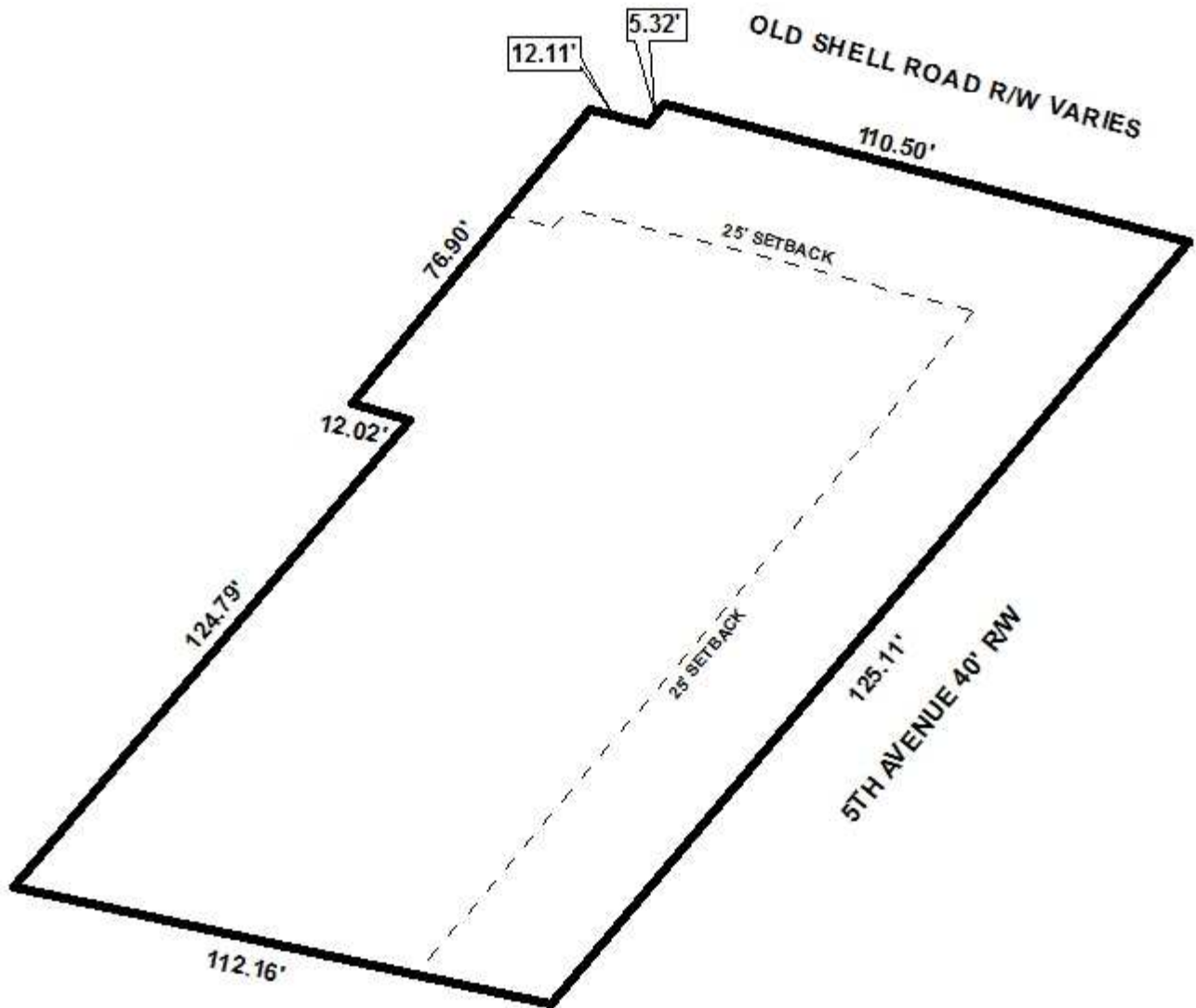
# SUNRISE SUBDIVISION



APPLICATION NUMBER 9 DATE June 5, 2014



## DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE June 5, 2014

APPLICANT Sunrise Subdivision

REQUEST Subdivision

