

**PLANNING APPROVAL &
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: December 18, 2003

NAME

St. Paul's Episcopal Church

LOCATION

4051 Old Shell Road
(South side of Old Shell Road at the South terminus
of Tuthill Lane)

PRESENT ZONING

R-1, Single-Family Residential

AREA OF PROPERTY

5.25± Acres

CONTEMPLATED USE

Expansion of an existing church for new classroom
and mini-gym

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediately

**ENGINEERING
COMMENTS**

Must comply with all stormwater and flood control
ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

All driveway widths and locations to be approved
by Traffic Engineering; and design to meet AASHTO Standards

REMARKS

The applicant is requesting Planning Approval and
Planned Unit Development (PUD) to construct an additional building for an existing
church and school in a R-1, Single-Family Residential district. Churches and schools are
allowed in R-1 districts with Planning Approval; and PUD approval is required for
multiple buildings on a single building site.

The review required for Planning Approval examines the applicant's location and site
plan with regard to transportation, parking and access, public utilities and facilities,
traffic congestion and hazard, and to determine if the proposal is in harmony with the
orderly and appropriate development of the district.

The site is currently developed with facilities that are used by both St. Paul's Church and
St. Paul's School. The existing chapel and education building, which are both located
along the East property line, will remain as-is both in terms of construction and function.
The existing church and parish hall, which are the westernmost buildings, parallel to Old
Shell Road currently house classrooms, a mini-gym and the sanctuary. The classrooms

and gym will be moved to the proposed new building in the southwest corner of the site. Once the classes and mini-gym are relocated, the space in the existing buildings would be reapportioned for offices, meeting space and Sunday school classrooms “re-portioned to better suit the church.”

Based upon the information provided by the applicant, the only use being added is a library. However, the new building would serve as an improvement in the quality of facilities, not to accommodate an increase in enrollment.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In terms of traffic flow, the existing pattern will be maintained. Additionally, the parking ratio for a school is based upon the number of teaching station, and for a church, the number of sanctuary seats; the new building will not increase the number of teaching stations, nor sanctuary seating, and thus the parking spaces would comply with the Ordinance requirements. The existing traffic circulation will be maintained; however, any change in the existing traffic pattern during construction should be coordinated with and approved by Traffic Engineering and Urban Development staff.

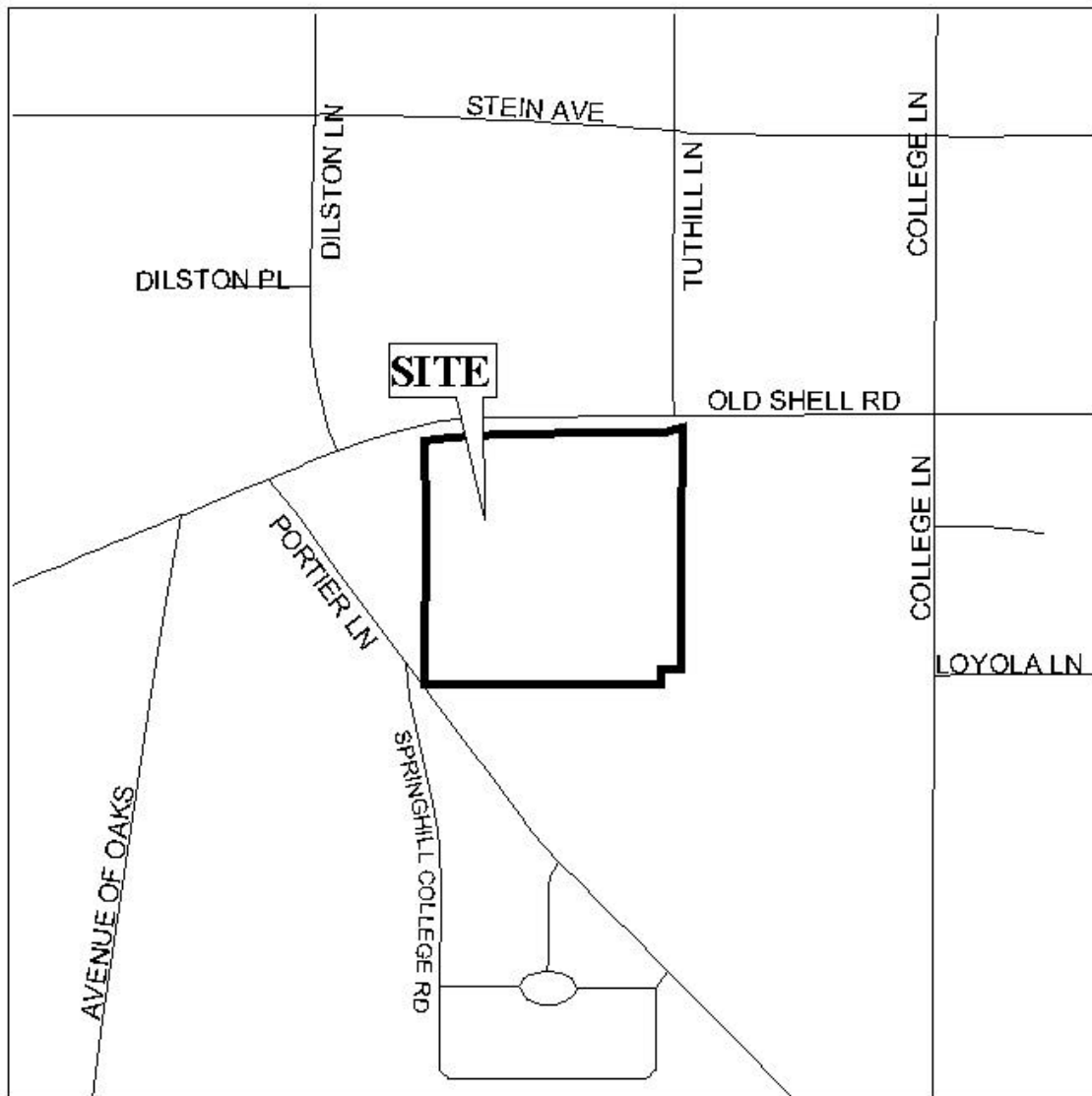
As with any Planning Approval or PUD approval, some degree of compliance with the landscaping and tree planting requirements of the Ordinance is typically required. In this case, the provision of frontage trees should be coordinated with and approved by Urban Forestry.

RECOMMENDATION

Planning Approval Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) the site plan and supporting documentation as submitted; 2) approval by Traffic Engineering and Urban Development staff for any change in traffic circulation; 3) the provision of frontage trees, to be coordinated with and approved by Urban Forestry; and 4) full compliance with all municipal codes and ordinances.

Planned Unit Development Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) the site plan and supporting documentation as submitted; 2) approval by Traffic Engineering and Urban Development staff for any change in traffic circulation; 3) the provision of frontage trees, to be coordinated with and approved by Urban Forestry; and 4) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 9&10 DATE December 18, 2003

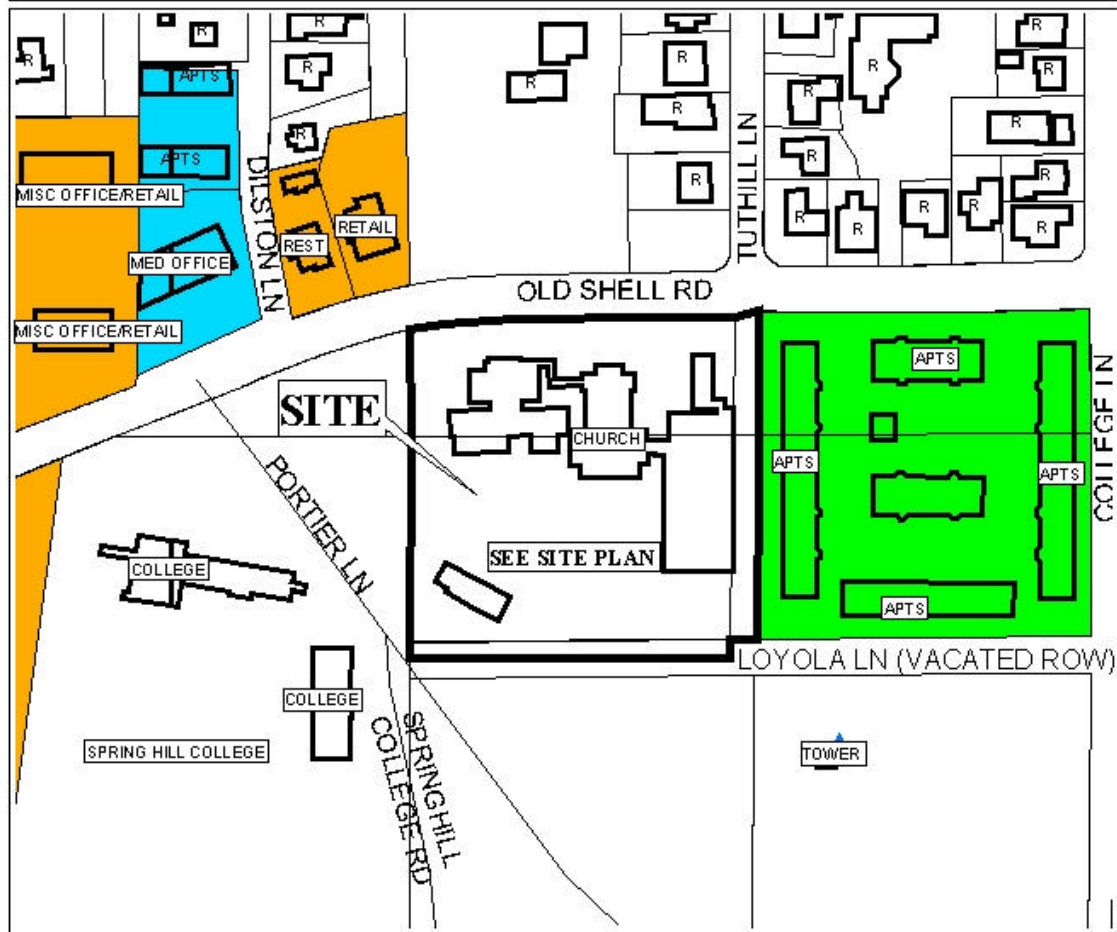
APPLICANT St. Paul's Episcopal Church

REQUEST Planning Approval, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single family-residential units, retail establishments, and a medical office is located to the north of the site. Apartments are located to the east of the site and Spring Hill College is located to the west and south of the site.

APPLICATION NUMBER 9&10 DATE December 18, 2003

APPLICANT St. Paul's Episcopal Church

REQUEST Planning Approval, Planned Unit Development

LEGEND

R-1

R-2

R-3

R-B

H-B

B-1

LB-2

B-2

B-3

B-4

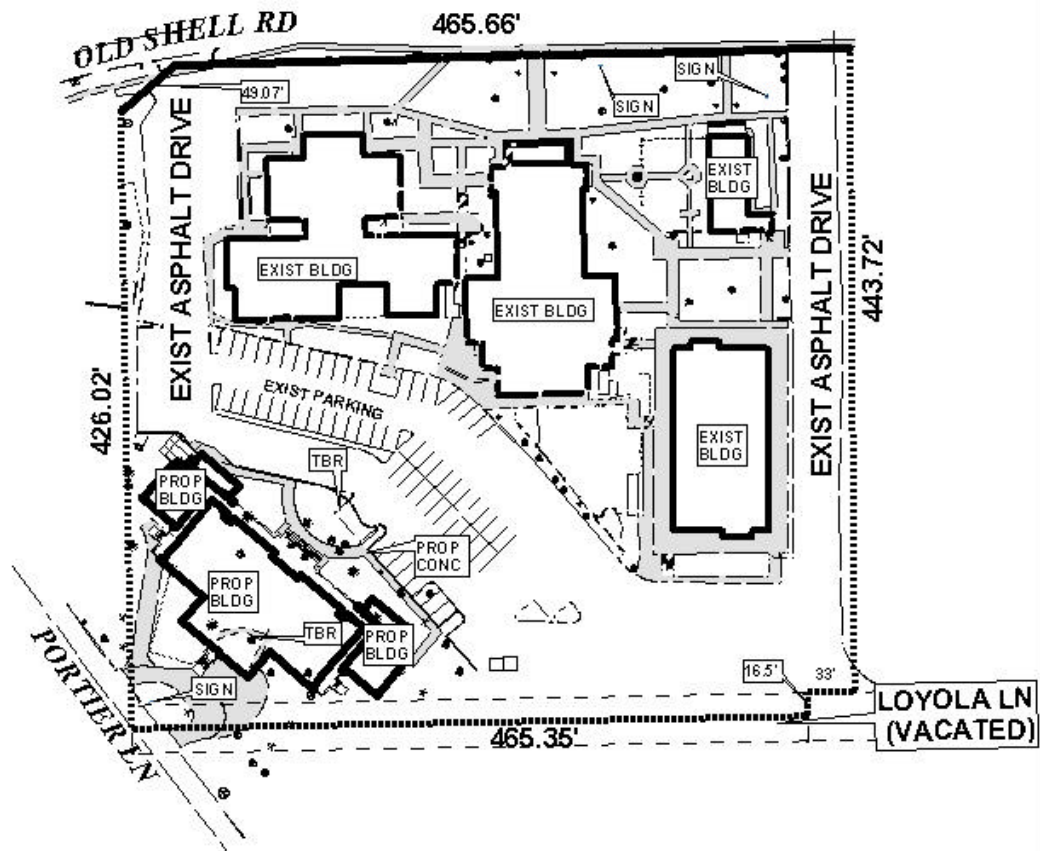
B-5

I-1

I-2



SITE PLAN



The site plan illustrates the existing buildings, concrete, parking, drives, and landscaping along with the proposed buildings and concrete.

APPLICATION NUMBER 9&10 DATE December 18, 2003
 APPLICANT St. Paul's Episcopal Church
 REQUEST Planning Approval, Planned Unit Development



NTS