

SPRINGER SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1 lot, 0.2 acre \pm subdivision which is located at 2616 & 2618 Dauphin Street (Northeast corner of Dauphin Street and Tacon Street), and is in Council District 1. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to combine two nonconforming metes and bounds parcels into a single legal lot of record.

The proposed lot, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The lot area size is not depicted on the plat in square feet, and this should be shown on the Final Plat, if approved. The 25-foot minimum building setback line is shown along the Dauphin Street right-of-way, and this should be retained on the Final Plat, if approved. A 20-foot minimum building setback line is shown along Tacon Street, and this is allowed as per Section 64-4.D.3. of the Zoning Ordinance; as such, a waiver of Section V.D.9. of the Subdivision Regulations regarding the minimum building setback line for Tacon Street only may be appropriate.

The site fronts Dauphin Street to the South and Tacon Street to the West. Dauphin Street is a Planned Major Street, as shown on the Major Street Plan Component of the Comprehensive Plan. Tacon Street is a minor street provided with curb and gutter. Dauphin Street is depicted with an existing right-of-way of 63 feet. The Major Street Plan requires a right-of-way of 100 feet on this portion of the roadway. This portion of Dauphin Street is already developed as a 5-lane roadway in this area and is highly developed. Many buildings in the area, including an existing building on this site, already encroach into the 25-foot minimum building line for the existing right-of-way. Additionally, there have been several subdivisions approved in the immediate vicinity of this application where their Major Street Plan dedications and/or increased building setbacks have been waived, including Dauphin Street Venture Subdivision (across Dauphin Street from this site), Sterling Place Subdivision (less than 150 feet East of this site) and Xante

Subdivision (187 feet West of this site). Given the preceding, a waiver of Section V.B.14. of the Subdivision Regulations regarding right-of-way widths for Dauphin Street may be appropriate.

The site is a corner lot, and, as such, dedication sufficient to comply with Section V.B.16. of the Subdivision Regulations regarding curb radii at the corner of Dauphin Street and Tacon Street should be provided.

Given that Dauphin Street is a major street with high traffic counts, access management is a concern. Currently the site has a single 10-foot wide curb cut to Dauphin Street. Given the high traffic volume, and the fact that Tacon Street, in this area, is developed commercially, access should be denied to Dauphin Street, and the site limited to one curb cut to Tacon Street with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards. These limitations should be in effect at the time the site is redeveloped or development on the site is modified, given that a building already exists on the site.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.D.9. of the Subdivision Regulations regarding the minimum building setback line for Tacon Street only and a waiver of Section V.B.14. of the Subdivision Regulations regarding right-of-way dedication for Dauphin Street only, this application is recommended for tentative approval subject to the following conditions:

- 1) dedication sufficient to comply with Section V.B.16. of the Subdivision Regulations regarding curb radii at the corner of Dauphin Street and Tacon Street;
- 2) labeling of the lot area size in square feet;
- 3) retention of the 25-foot minimum building setback line along Dauphin Street and the 20-foot minimum building setback line along Tacon Street;
- 4) placement of a note on the Final Plat stating that the lot will be denied access to Dauphin Street and will be limited to one curb cut to Tacon Street with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards, at any time the site is redeveloped or the existing development is modified; and
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



APPLICATION NUMBER 9 DATE June 2, 2011

APPLICANT Springer Subdivision













REQUEST Subdivision



SPRINGER SUBDIVISION



APPLICATION NUMBER 9 DATE June 2, 2011

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

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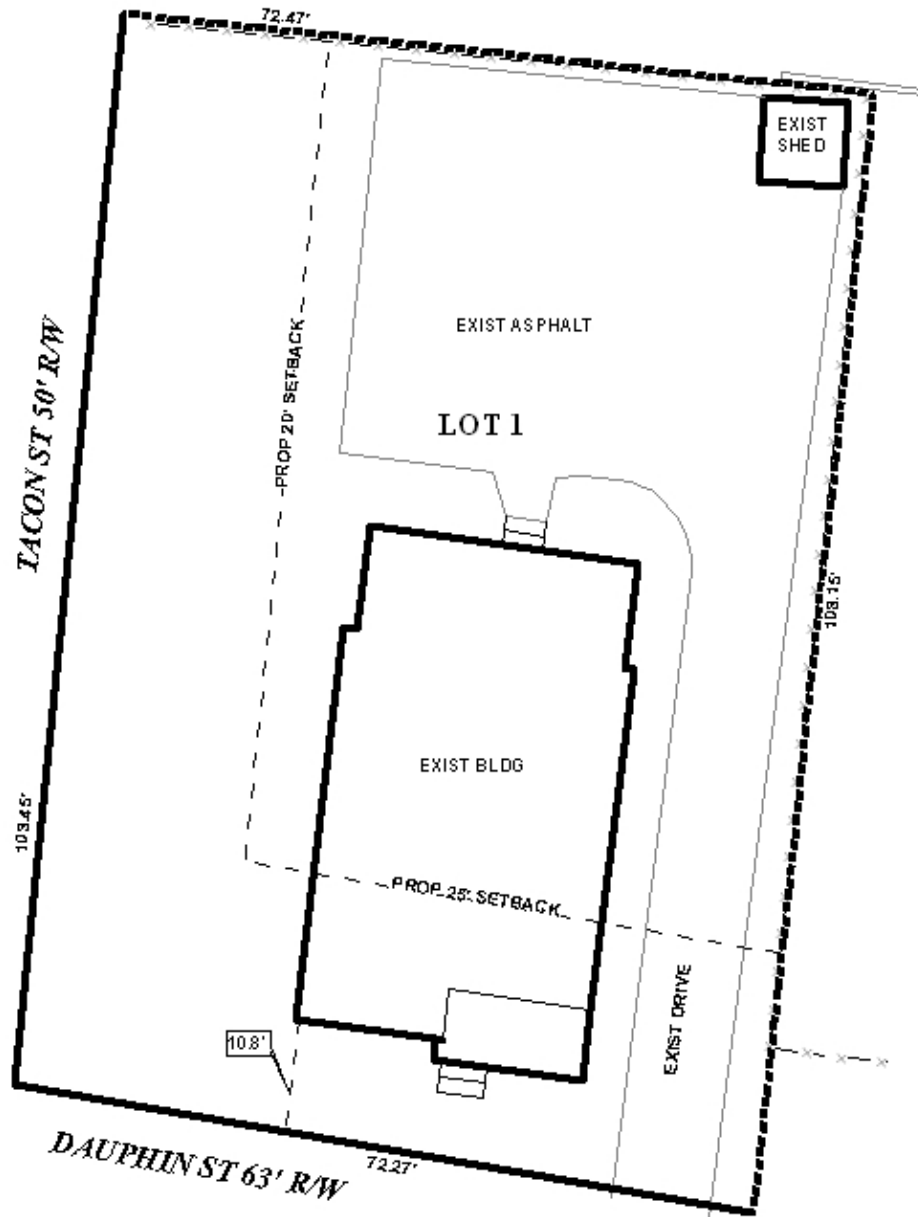
SPRINGER SUBDIVISION



APPLICATION NUMBER 9 DATE June 2, 2011



DETAIL SITE PLAN



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APPLICANT Springer Subdivision

REQUEST Subdivision

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