

LEGACY SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 46 lot, 26.8 \pm acres subdivision which is located on the West side of Eliza Jordan Road, ½ mile \pm South of Kelly Road. The subdivision is served by public water and sanitary sewer provided by South Alabama Utilities.

The purpose of this application is to create a 46-lot subdivision from three metes and bounds parcels. It should be noted that the area labeled future development on the plat would require subdivision approval from the Commission for any development.

The site fronts Eliza Jordan Road, a planned major street, which has an existing right-of-way shown of 60-feet; the Major Street Plan requires a 100-foot right-of-way. Therefore, the dedication of adequate right-of-way to provide 50-feet from the centerline of Eliza Jordan Road, should be required. Additionally, as a means of access management, the placement of a note on the final plat stating that Lots 16, 26, 27, 36, 37, and 46 (which are corner lots) are limited to one curb cut each, with the size, location and design to be approved by County Engineering should be required.

The proposed layout creates a long “straight a way” and a traffic-calming device (traffic circle) should be provided in the area of Lots 26 and 27. The Subdivision Regulations state that a closed-end street shall not be longer than 600’. Section V.B.1. also states that street stubs shall be provided to large undeveloped tracts of land. Cambridge Place Subdivision, located to the North with 137 lots, was approved by the Commission in March 2004 without requiring street stubs. However, the closed-end street for this site is approximately 1,360’ long; therefore, a traffic-calming device would be required. Furthermore, all new roads for the site are to be dedicated and constructed to meet County Standards.

As shown on the Detail Site Plan, two proposed new streets stub into adjacent properties located at the western and southern property lines of the site. Therefore, the provision of temporary turnarounds should be required.

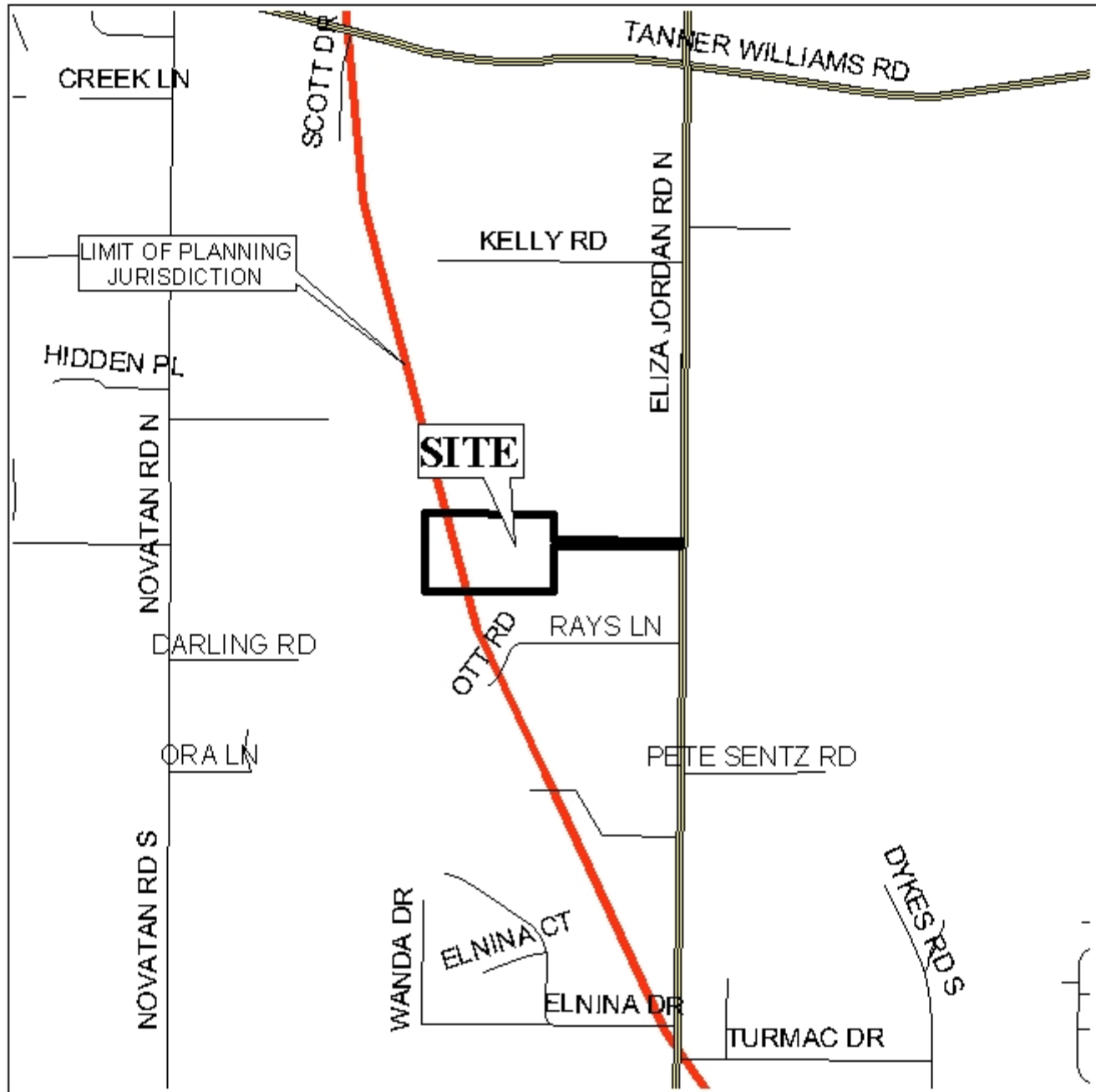
A detention area is shown on the plat, thus the placement of a note on the final plat stating that maintenance of the detention area shall be the responsibility of the property owners, should be required.

As indicated on the Vicinity Map, the site has a pond located on it and as such the area may be considered environmentally sensitive; therefore, the approval of any necessary federal, state and local agencies would be required.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The plat will meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of sufficient right-of-way to provide 50-feet from the centerline of Eliza Jordan Road; 2) the placement of a note on the final plat stating that Lots 16, 26, 27, 36, 37, and 46 are limited to one curb cut each, with the size, location and design to be approved by County Engineering; 3) the provision of a traffic circle in the area of Lots 26 and 27; 4) dedication and construction of new roads to meet County Standards; 5) the provision of temporary turnarounds; 6) all detention areas be indicated on the final plat with a note stating that the maintenance thereof is the responsibility of the property owners association; 7) the developer to obtain the necessary approvals from federal, state and local agencies prior to the issuance of any permits; and 8) the placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 9 DATE August 4, 2005

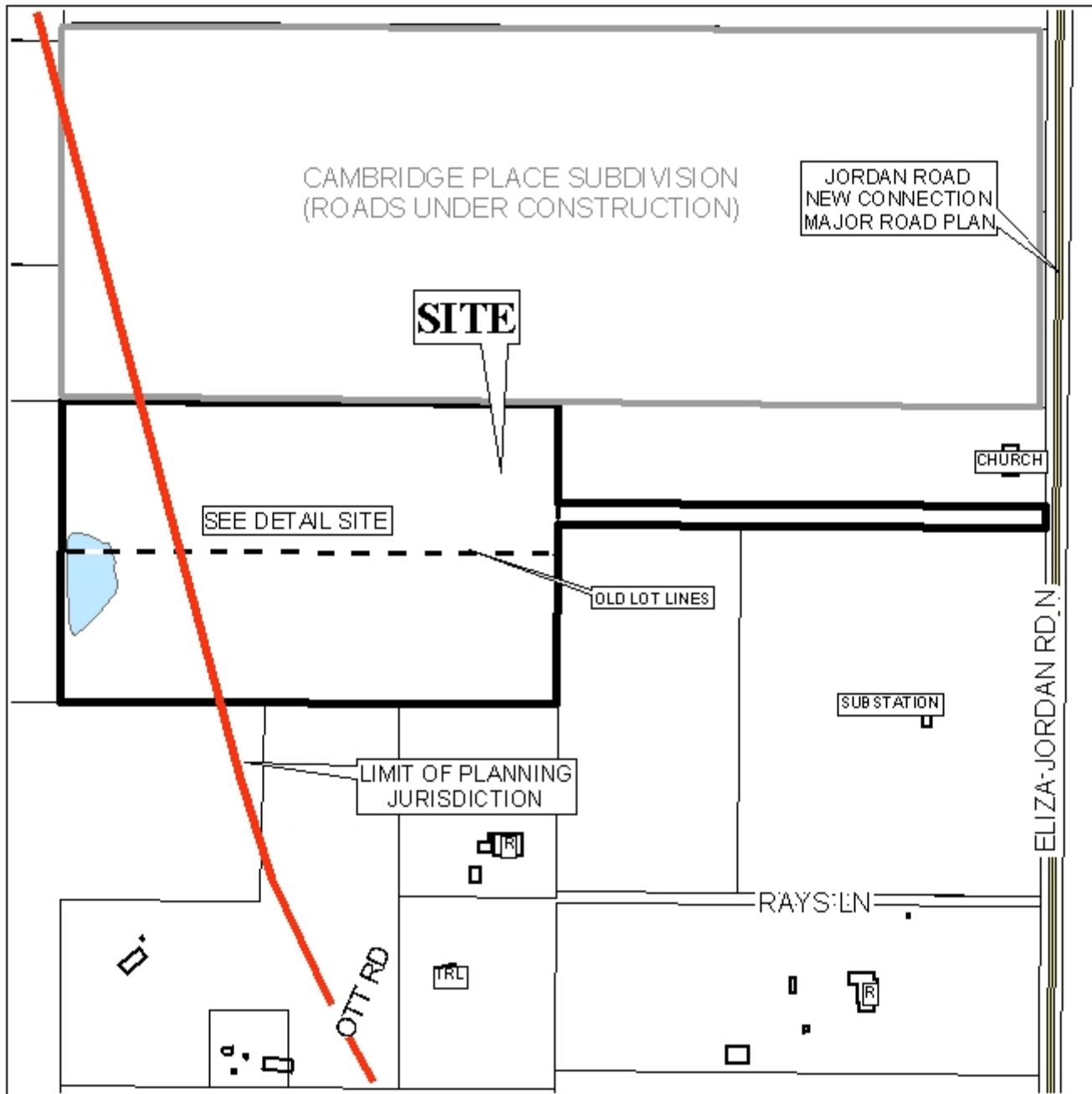
APPLICANT Legacy Subdivision

REQUEST Subdivision



NTS

LEGACY SUBDIVISION



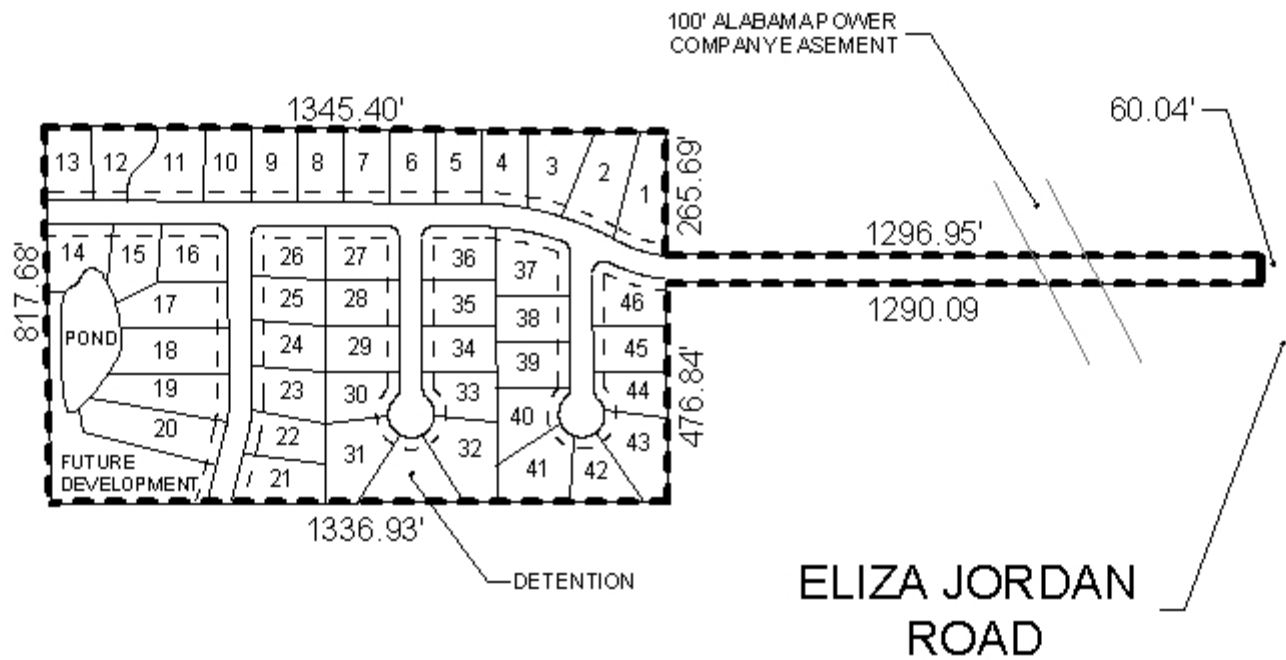
APPLICATION NUMBER 9 DATE August 4, 2005

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----

N
NTS

DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE August 4, 2005

APPLICANT Legacy Subdivision

REQUEST Subdivision



NTS