

**LAKELAND TERRACE SUBDIVISION, FIRST UNIT,**  
**RESUBDIVISION OF LOTS 44 AND 45**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has **no** water or sewer services available.

The plat illustrates the proposed 1.2 acre  $\pm$ , 2 lot subdivision which is located on the West side of Churchill Downs Avenue at the West terminus of Epsom Downs Street and is in the county. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to relocate the interior lot line for two existing legal lots of record. The lot sizes are labeled, and the proposed lots would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size should be retained in square feet and acres or a table should be furnished on the Final Plat, as on the preliminary plat, if approved.

The site fronts onto Churchill Downs Avenue a minor street with curb and gutter, which is illustrated on the preliminary plat to have a right-of-way of 60', thus no dedication is required. A note should be placed on the Final Plat that each lot is limited to one curb-cut onto Churchill Downs Avenue if approved.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat.

The site is developed with one house on the proposed Lot 45A and currently has one curb-cut onto Churchill Downs Avenue. The proposed Lot 44A is developed with one curb-cut onto Churchill Downs Avenue. Both lots should be limited to the existing curb-cuts to Churchill Downs Avenue. If any changes to the existing curb-cuts are proposed, the size, design and location of curb-cuts must be approved by Mobile County Engineering and comply with AASHTO standards.

As on the preliminary plat, the Final Plat should illustrate the 25' minimum building setback line along Churchill Downs Avenue.

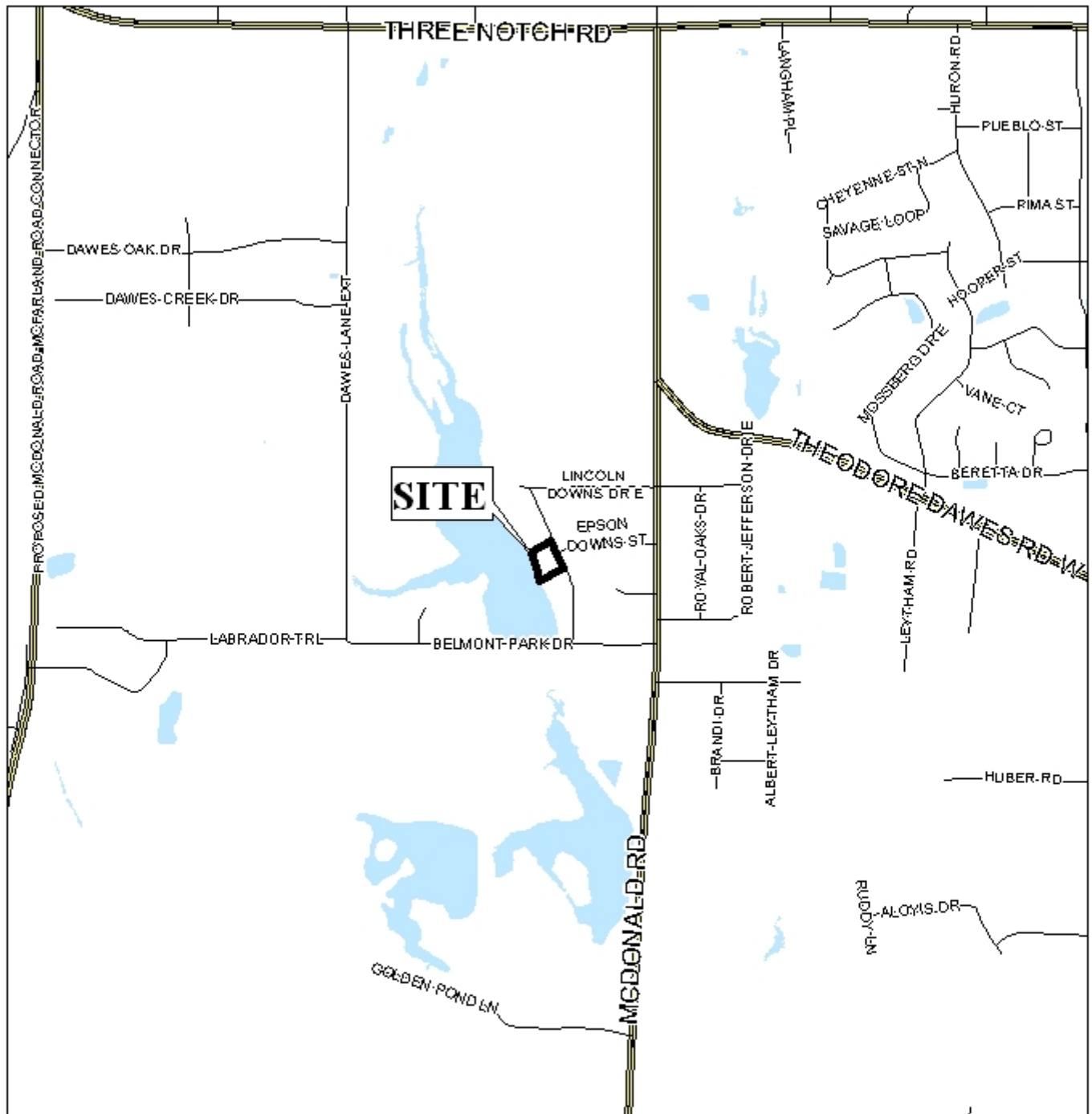
While the site is in the County, new construction on the site will have to comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that both lots are limited to the existing curb-cut to Churchill Downs Avenue, with the size, design and location to be approved by Mobile County Engineering and to conform with AASHTO standards;
- 2) depiction and labeling of the 25' minimum building setback line from Churchill Downs Avenue
- 3) depiction and labeling of the lot sizes in square feet and acres or a table should be furnished on the Final Plat;
- 4) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species and;
- 6) compliance with Fire-Rescue Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*).

# LOCATOR MAP



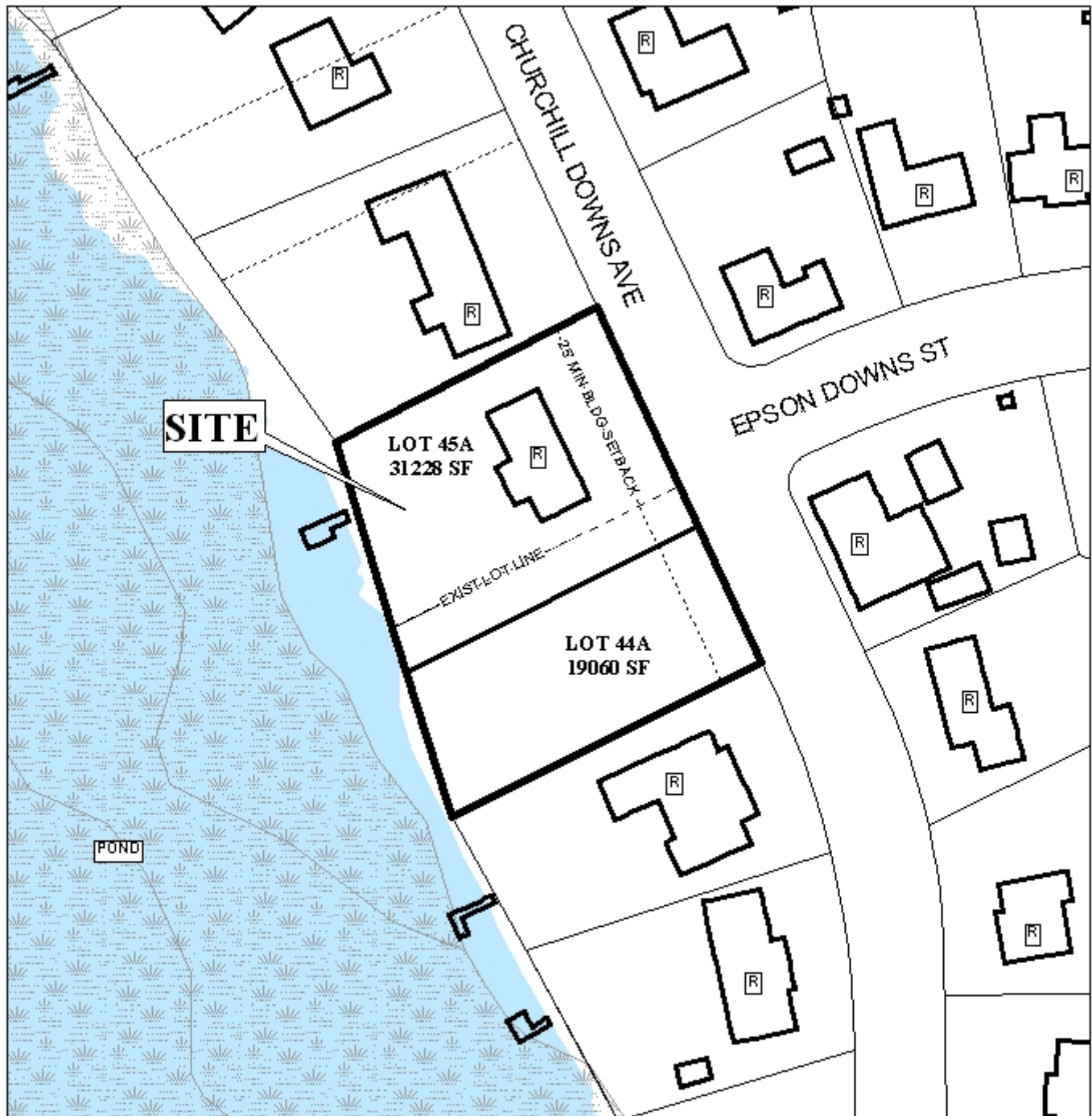
APPLICATION NUMBER 9 DATE January 3, 2013

APPLICANT Lakeland Terrace Subdivision, First Unit, Resubdivision of Lots 44 and 45

REQUEST Subdivision

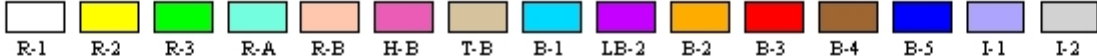


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