

KINGS BRANCH SUBDIVISION, PHASE TWO

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: No Comments

The plat illustrates the proposed 101.9± acre, 175 lot subdivision, which is located North terminus of King Gate Drive West, Kings Branch Drive East and Lacoste Road; and extending to the West terminus of Royalty Way, and to the North terminus of Meadow Lane – within the planning jurisdiction. The applicant states that the site is served by public water and sanitary sewer facilities.

This application was first approved in 2005, but expired. It was approved again in 2007, at which time Unit One was recorded. However, it has once again expired; hence the current application.

The subdivision involves the creation of new streets including connections to three existing street stubs from Unit One; all streets must be constructed and dedicated to County Engineering standards. As a means of access management, all lots, including corner lots should be limited to one curb cut each, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards.

It should be noted that Section V.B.14 of the Subdivision Regulations has been amended since the original approval. In accordance with the 2003 International Fire Code, all streets longer than 150' are required to have a cul de sac of appropriate size for fire trucks to turn around (minimum 120' right-of-way diameter). While, this amendment is reflected on the plat for Units Three and Four, the cul de sac in Unit Two is still illustrated with a 100' right-of-way. However, since the street network in Unit Two was permitted and constructed (with utilities) prior to the amendment, a waiver may be appropriate.

As proposed, Lots 35-37 in Unit Two, Lots 5-6 in Unit Three, and Lots 8-11, 28 in Unit Four have less than 60' of frontage, on which the building setback lines are illustrated at 25'. Section V.D.2 of the Subdivision Regulations states that lots shall be a minimum 60' in width at the building setback line. Therefore, the applicant should revise the plat accordingly.

The plat meets the minimum size requirement for developments with access to public water and sewer. However, it is requested that the applicant revise the preliminary plat to label each lot with its size in square feet, or provide a table on the plat with the same information.

The northern portion of the site lies within a flood zone and contains associated wetlands, which is labeled as common area for the subdivision. Also, four additional common / detention areas are illustrated on the plat. As illustrated on the plat, all common areas will be accessed either directly from a proposed public street or via ingress / egress easements. The applicant should place a note on the final plat stating that the maintenance of all common areas will be the responsibility of the property owners and that no building construction is allowed within easements.

It appears that the northern portion of the site may also be affected by the planned Red Creek-Eight Mile Creek Parkway. At the time of construction for the major street, a study should be conducted to determine its exact location.

As already mentioned, the northern portion of the site lies within a flood zone and contains associated wetlands. The presence of wetlands indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

The site is located in the county. Therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

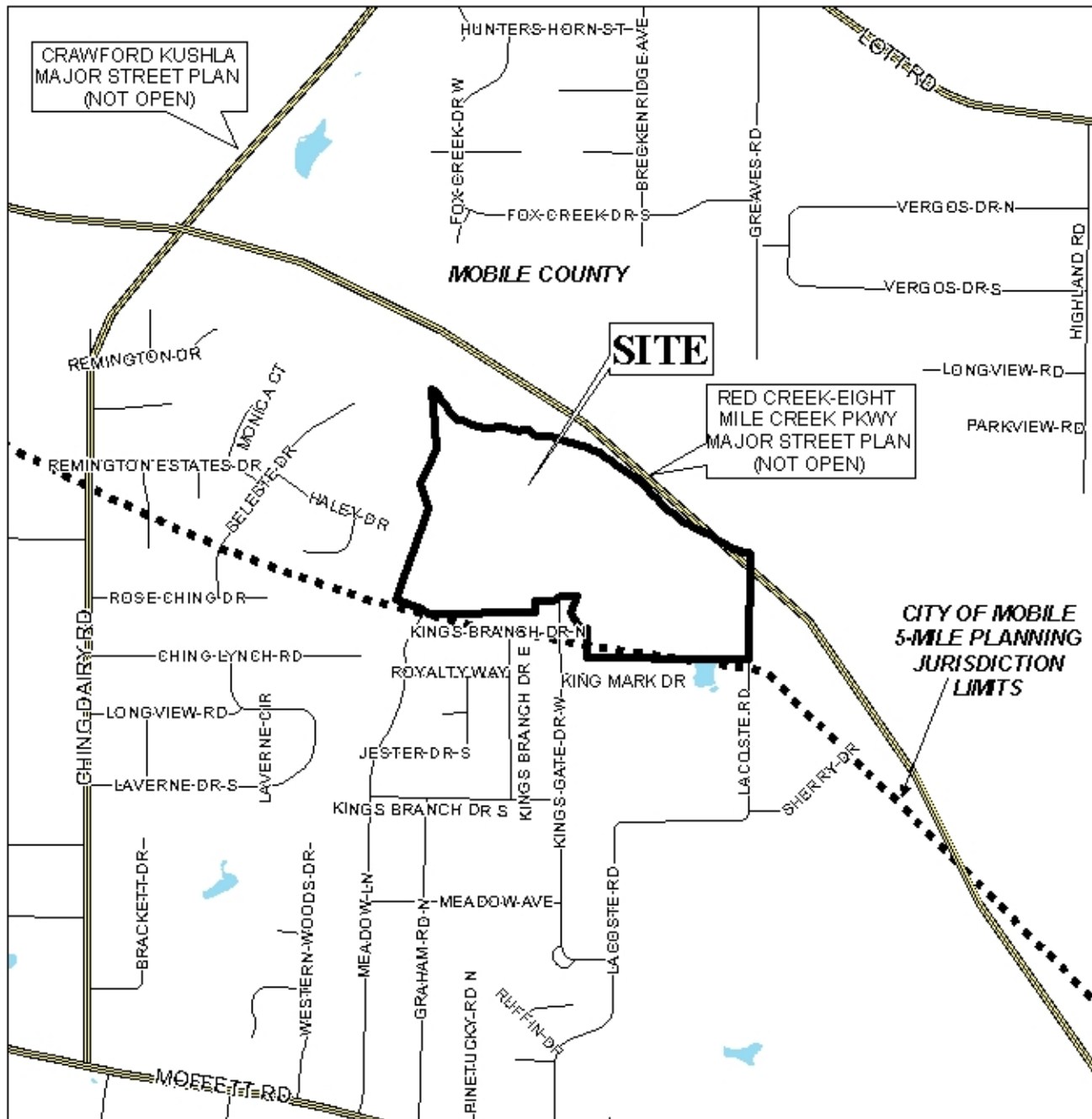
While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

With a waiver of Section V.B.14 of the Subdivision Regulations for Unit Two only, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) the construction and dedication of the new streets to County Engineering standards and acceptance by County Engineering prior to signing the final plat;
- 2) placement of a note on the final plat stating that all lots, including corner lots, are limited to one curb cut each, with the size, location, and design to be approved by County Engineering and conform to AASHTO standards;
- 3) revision of the front setback line on Lots 35-37 in Unit Two, Lots 5-6 in Unit Three, and Lots 8-11, 28 in Unit Four to where these lots are at least 60' in width, in accordance with Section V.D.2 of the Subdivision Regulations;
- 4) labeling of each lot with its size in square feet, or the provision a table on the plat with the same information;

- 5) placement of a note on the final plat stating that the maintenance of all common areas will be the responsibility of property owners;
- 6) placement of a note on the final plat stating that no construction is allowed within easements, detention areas, or wetlands;
- 7) placement of note on the final plat stating that the northern portion of the site may be impacted by the planned Red Creek-Eight Mile Creek Parkway and a study will be conducted at the time of its construction to determine the exact location of the parkway;
- 8) the applicant receive the approval of all applicable federal, state and local environmental agencies prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the final plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 10) placement of a note on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.8 of the Subdivision Regulations; and
- 11) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

LOCATOR MAP



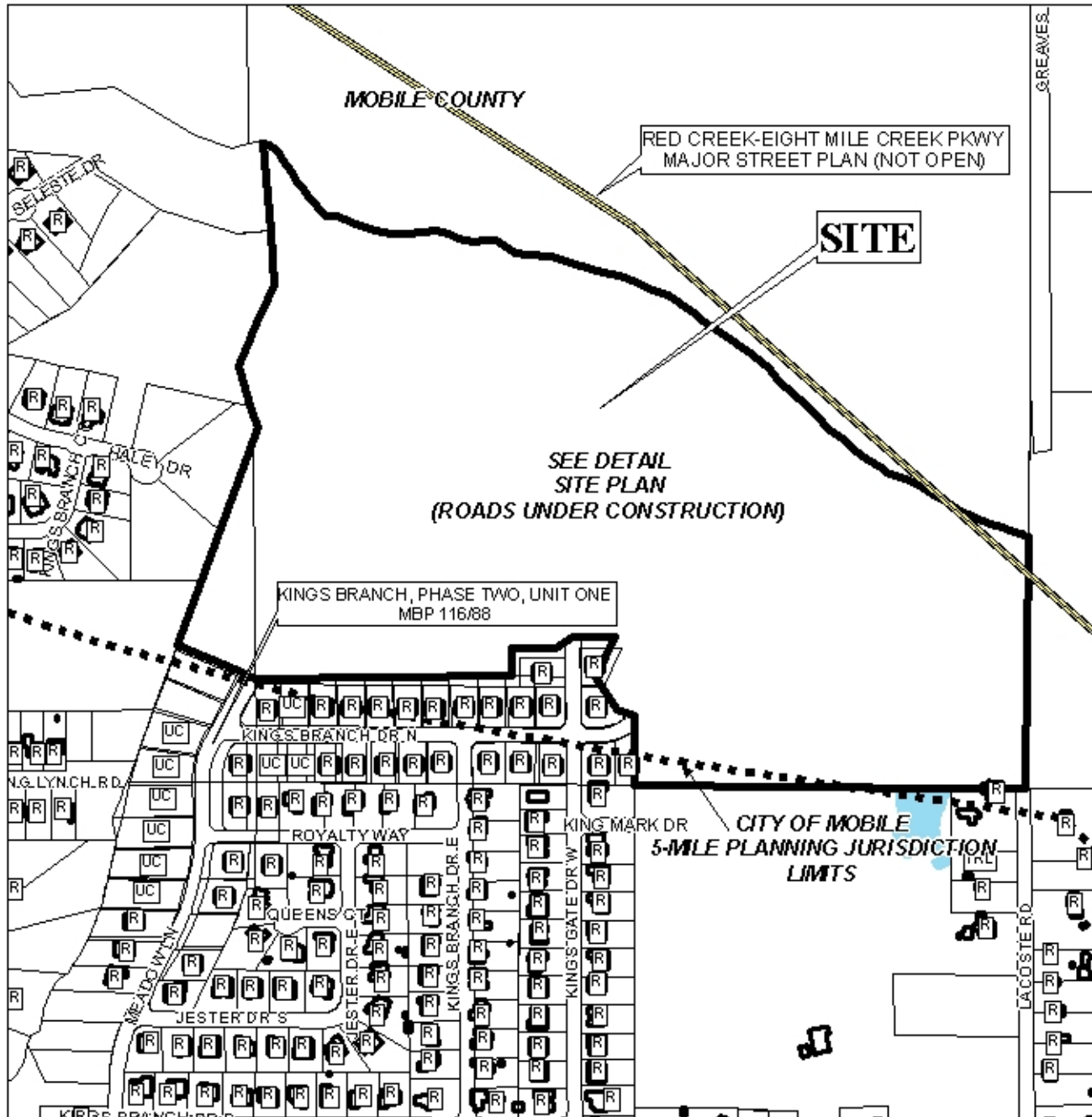
APPLICATION NUMBER 9 DATE August 6, 2009

APPLICANT King Branch Subdivision, Phase Two

REQUEST Subdivision

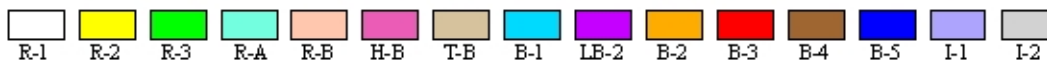


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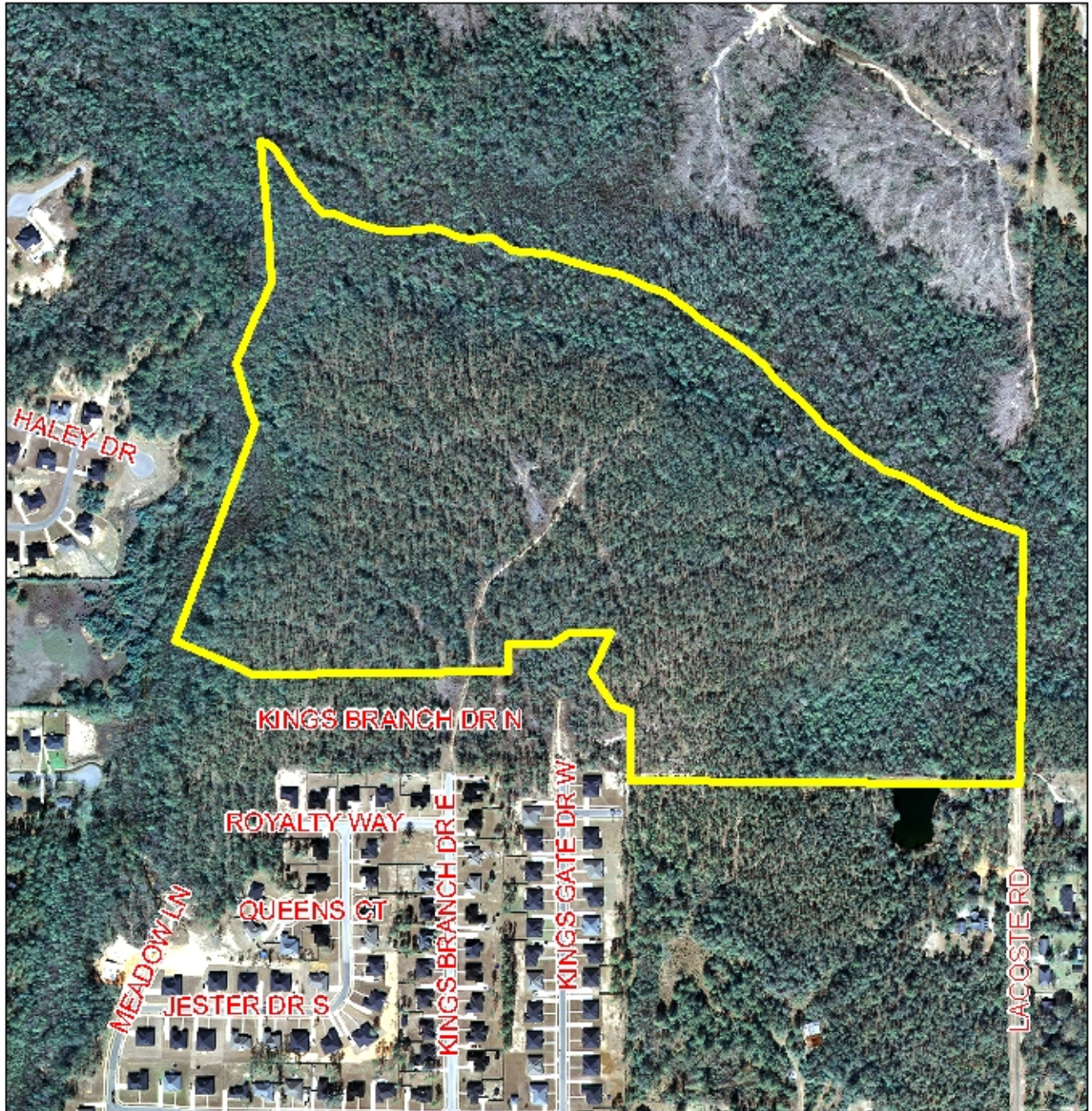
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LEGEND



NTS

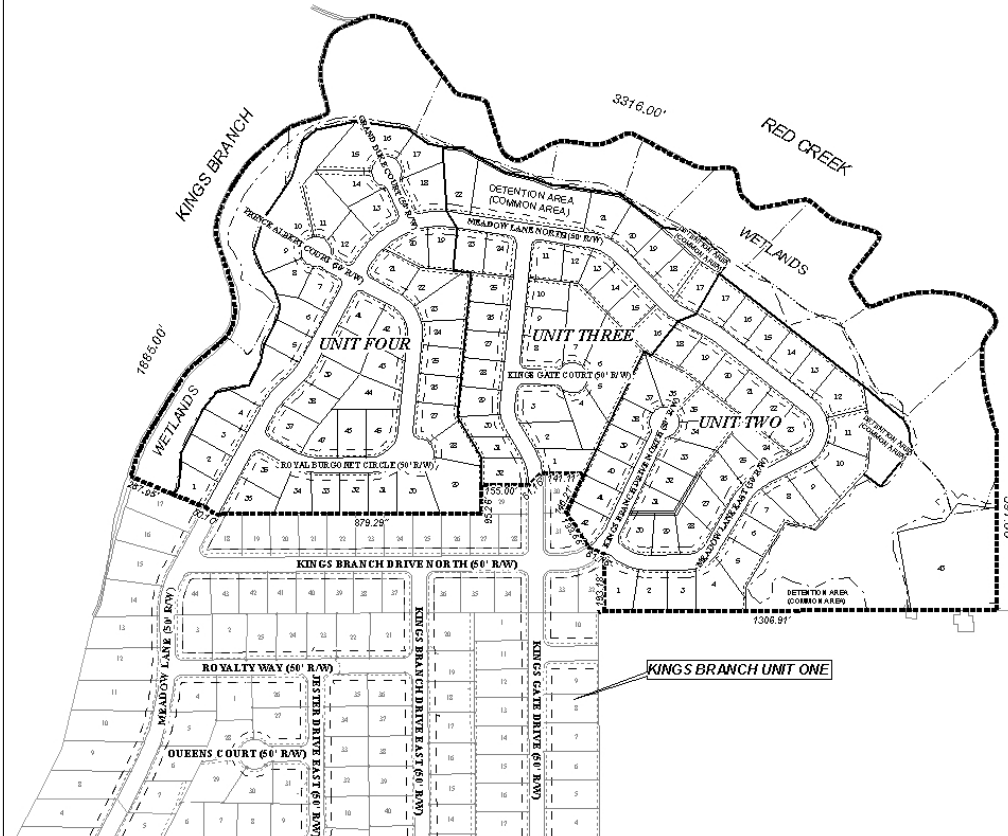
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DETAIL SITE PLAN



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