

KENNEDY VILLA SUBDIVISION

Engineering Comments: Need to provide a 25' radius at the intersections of Clay St @ Glennon Ave and Basil St & Glennon Ave. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 1.0± acre subdivision which is located at the Southwest corner of Glennon Avenue and Clay Street, extending to the Northwest corner of Basil Street and clay Street, in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer services.

The purpose of this application is to create one legal lot of record from two metes-and-bounds parcels and nine lots of record.

The site was the subject of a Fence and Wall Height Variance approved at the August 2, 2010, Board of Zoning Adjustment meeting. A condition of approval of that variance is the submission and approval of a one-lot subdivision application, hence this application. The applicant has purchased the various parcels and lots involved over a span of many years and has demolished the dwellings which existed on them, other than the primary dwelling. It should be noted that the site is zoned R-2, Two-Family Residential, and would allow for a second dwelling on the one lot, if this application is approved.

The site fronts onto Glennon Avenue, Clay Street, and Basil Street. Basil Street and Clay Street have compliant 50' rights-of-way and no dedication would be required. Glennon Avenue has a noncompliant 40' right-of-way; however, dedication to provide 25' from the centerline would place the right-of-way line at or within the existing dwelling's front steps. Therefore, no dedication should be required, but the plat should be revised to illustrate a 30' minimum building setback line along Glennon Avenue from the existing right-of-way line. A 25' minimum building setback line should be illustrated along Clay Street and Basil Street as measured from

the existing rights-of-way. Dedication to provide a 25' radius at the corner of Glennon Avenue and Clay Street, and at the corner of Clay Street and Basil Street should be required. As a means of access management, a note should be required on the final plat stating that the lot is limited to one curb cut on Glennon Avenue and one curb cut on Basil Street, with the size, location and design of each curb cut to be approved by Traffic Engineering and conform to AASHTO standards.

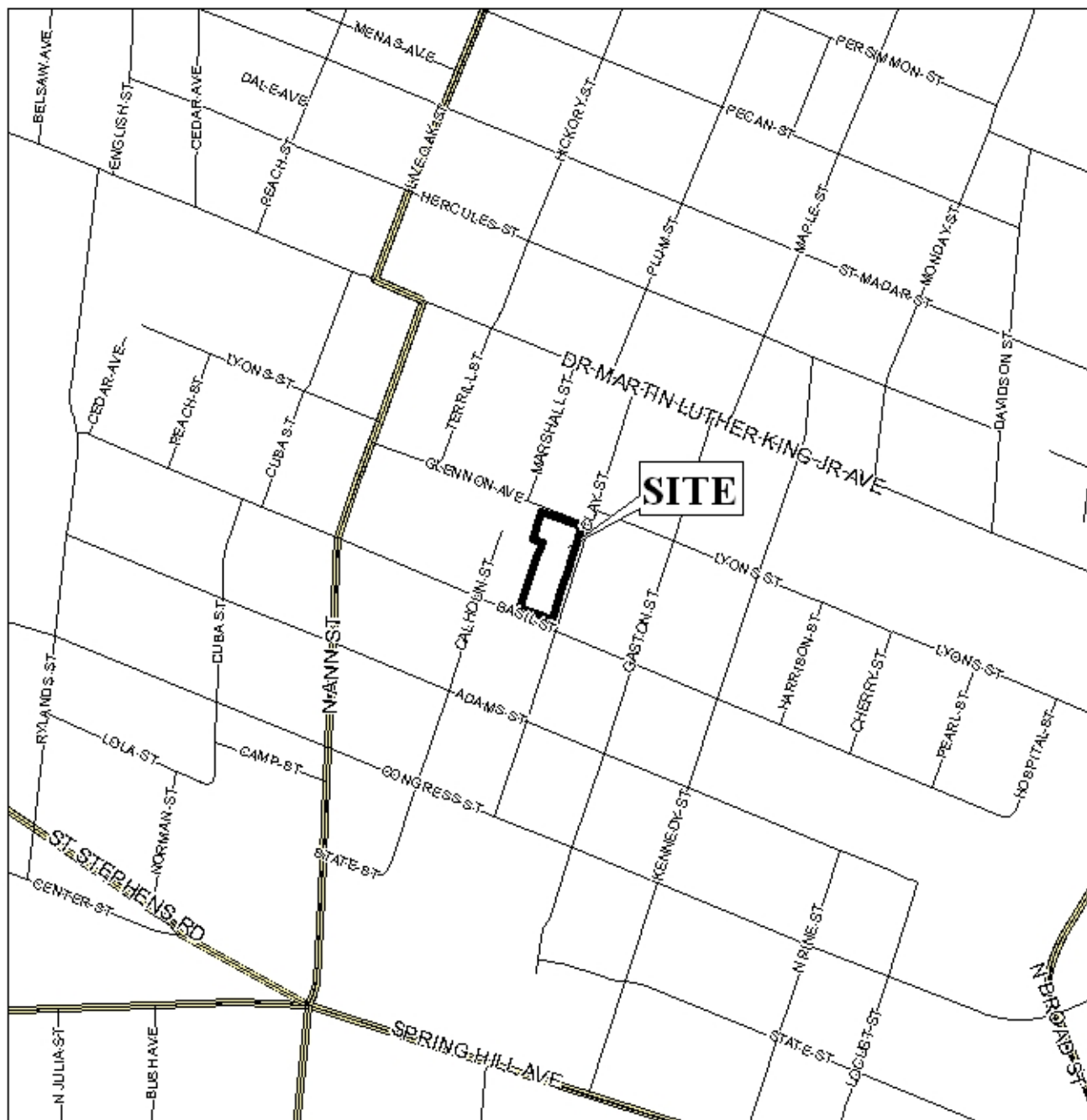
The plat should be revised to label the lot with its size in both square feet and acres, after required dedication, or a table should be furnished on the final plat providing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. Approvals must be obtained prior to land disturbance or permitting activities.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to illustrate a 30' minimum building setback line along Glennon Avenue;
- 2) revision of the plat to illustrate a 25' minimum building setback line along Clay Street and Basil Street;
- 3) dedication to provide a 25' corner radius at the intersection of Glennon Avenue and Clay Street;
- 4) dedication to provide a 25' corner radius at the intersection of Clay Street and Basil Street;
- 5) placement of a note on the final plat stating that the lot is limited to one curb cut to Glennon Avenue and one curb cut to Basil Street, with the size, location and design of each curb cut to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) revision of the plat to label the lot with its size in both square feet and acres, or the furnishing of a table on the final plat providing the same information;
- 7) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities; and
- 8) compliance with and dedications as required by the Engineering comments: *(Need to provide a 25' radius at the intersections of Clay St @ Glennon Ave and Basil St & Glennon Ave. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



APPLICATION NUMBER 9 DATE October 7, 2010

APPLICANT Kennedy Villa Subdivision

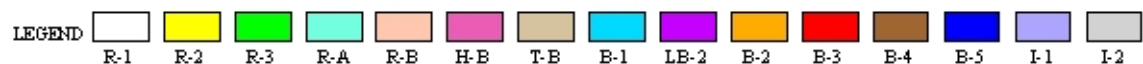
REQUEST Subdivision



KENNEDY VILLA SUBDIVISION



APPLICATION NUMBER 9 DATE October 7, 2010



KENNEDY VILLA SUBDIVISION



APPLICATION NUMBER 9 DATE October 7, 2010



NTS