

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: April 16, 2015****DEVELOPMENT NAME**

Joseph N. Asarisi, P.E.

LOCATION4485 Laughlin Drive South
(South side of Laughlin Drive South, 2/10± mile West of
Laughlin Drive)**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

I-1, Light Industrial District

AREA OF PROPERTY

1 Lot / 2.4± Acres

CONTEMPLATED USEPlanned Unit Development Approval to allow multiple
buildings on a single building site.**TIME SCHEDULE
FOR DEVELOPMENT**

Immediately

**ENGINEERING
COMMENTS**

ADD THE FOLLOWING NOTES TO THE PUD SITE

PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site was part of a Subdivision application approved at the May 15, 2008 Planning Commission meeting. A condition of the Subdivision approval states that non-corner lots with greater than 200 feet of frontage, such as the subject site, are limited to two curb-cuts. It should be noted that the proposed site plan illustrates the installation of a third curb-cut to Laughlin Drive South. The proposed new driveway from the new curb-cut is less than 24' wide, and would therefore be sub-standard for two-way traffic. Because the site has 271'± of street frontage, the site plan should be revised to remove the third curb-cut.

The site plan states that the site will have 15,233 square feet of office space and 6 warehouse employees, resulting in 53 required parking spaces. The proposed site plan illustrates 53 parking spaces.

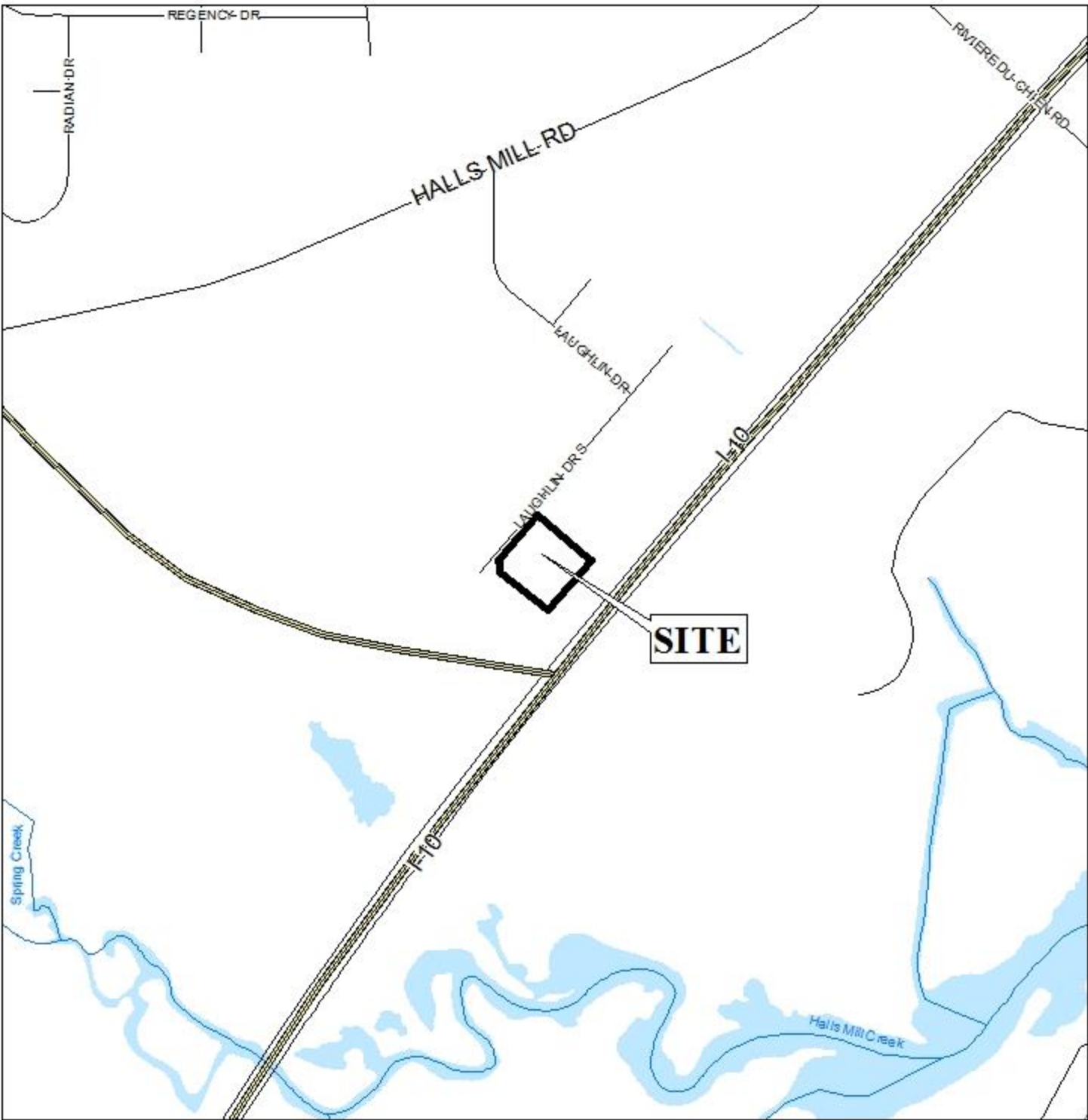
The submitted site plan illustrates several trees on the site, and states that additional trees will be planted to achieve compliance with tree planting requirements, but no mention is made of landscape area calculations. It should be noted that the trees that are illustrated on the site plan do not match the tree plan on file, and the proposed new structure will be removing several trees that were used as tree credits previously. The site plan should be revised to illustrate full compliance with tree planting and landscape area requirements.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) revision of the site plan to remove the third curb-cut to Laughlin Drive South;
- 2) revision of the site plan to show full compliance with tree planting and landscape area requirements;
- 3) comply with Engineering comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. E. The proposed development must comply with all Engineering Department design requirements and Policy Letters.*);
- 4) comply with Traffic Engineering comments (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 5) comply with Urban Forestry comments (*Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.*); and
- 6) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to issuance of any permits.

LOCATOR MAP

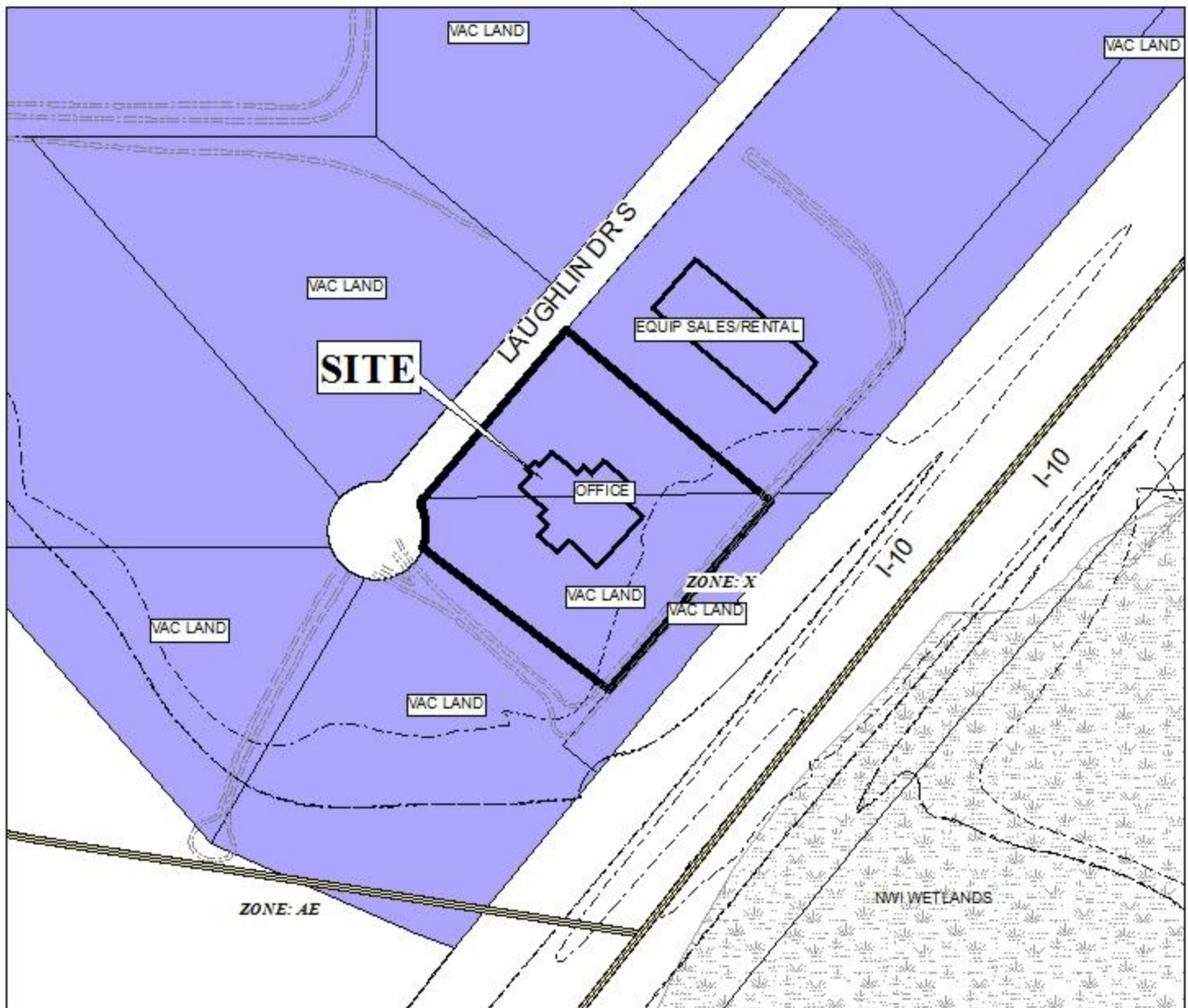


APPLICATION NUMBER 9 DATE April 16, 2015

APPLICANT Joseph N. Asarisi, P.E.

REQUEST Planned Unit Development Approval

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



An equipment sales and rental unit lies north of the site.

APPLICATION NUMBER 9 DATE April 16, 2015

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REQUEST Planned Unit Development Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



An equipment sales and rental unit lies north of the site.

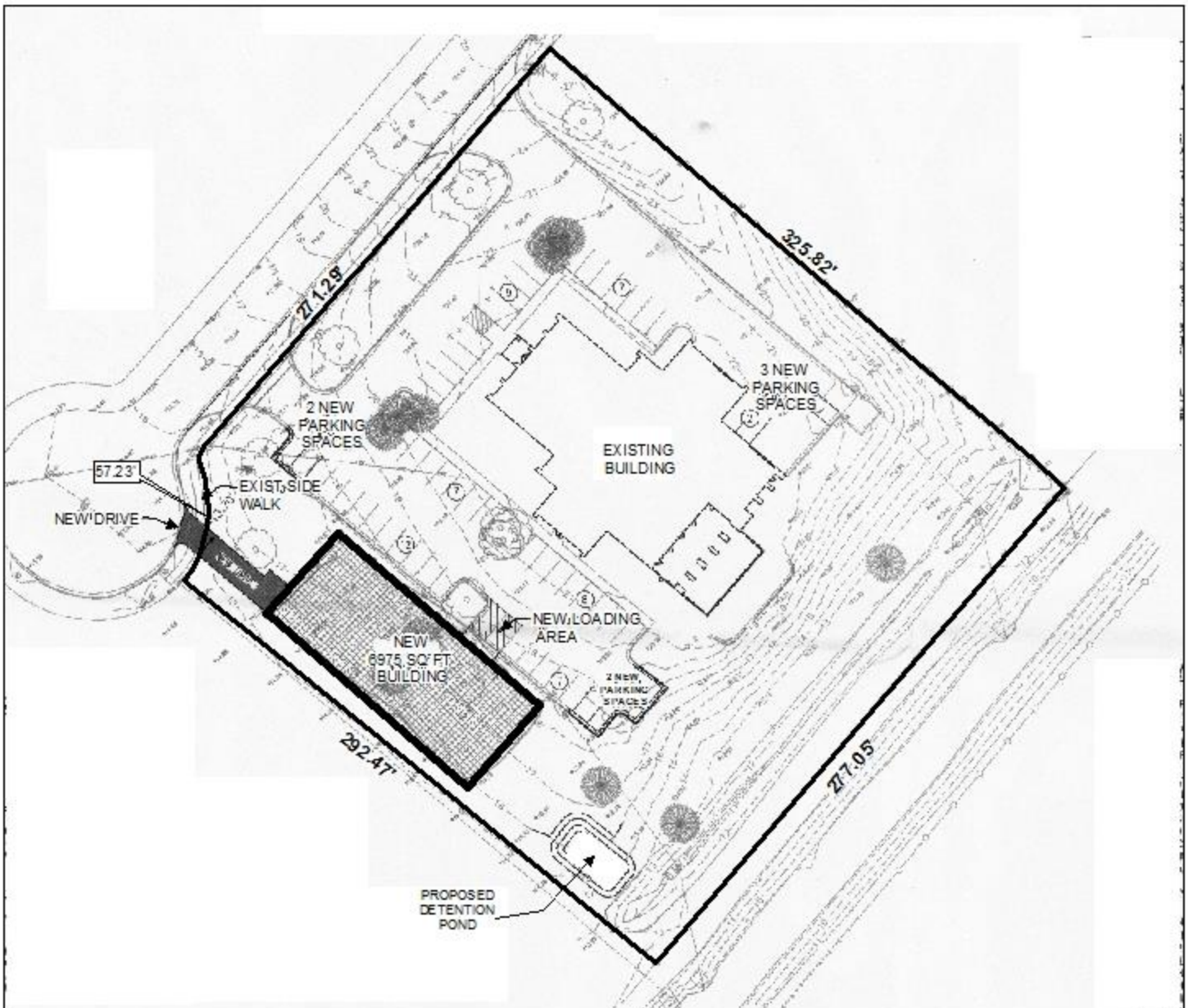
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SITE PLAN



The site plan illustrates the existing building, the proposed building, new pond, new drive, and parking.

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