

HOLLEY BRANCH

RESUBDIVISION OF LOTS 29, 30, 31

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Mobile Area Water and Sewer Systems Comments: MAWSS has **NO** water or sewer services available.

The plat illustrates the proposed 1.2± acre, 2 lot subdivision, which is located at the Northwest corner of Creek Court and Winterberry Street – within the planning jurisdiction. The site is served by city water and sanitary sewer facilities.

The purpose of this application is to combine Lots 29, 30, and 31 of Holly Branch Subdivision into two lots. Holley Branch Subdivision was approved by the Planning Commission and recorded in January 2007.

As Lot 1 has approximately 151' of frontage along Creek Court, it should be limited to one curb cut. Lot 2 is a corner lot with frontage along Creek Court and Winterberry Street. Since it is residential property, it should also be limited to one curb cut. Furthermore, a sufficient radius on the corner of Creek Court and Winterberry Street should be provided, compliant with Section V.B.16. of the Subdivision Regulations.

As illustrated on the preliminary plat, the site contains wetlands. Thus, the area could be environmentally sensitive. The applicant must obtain any necessary federal, state, and local environmental approvals.

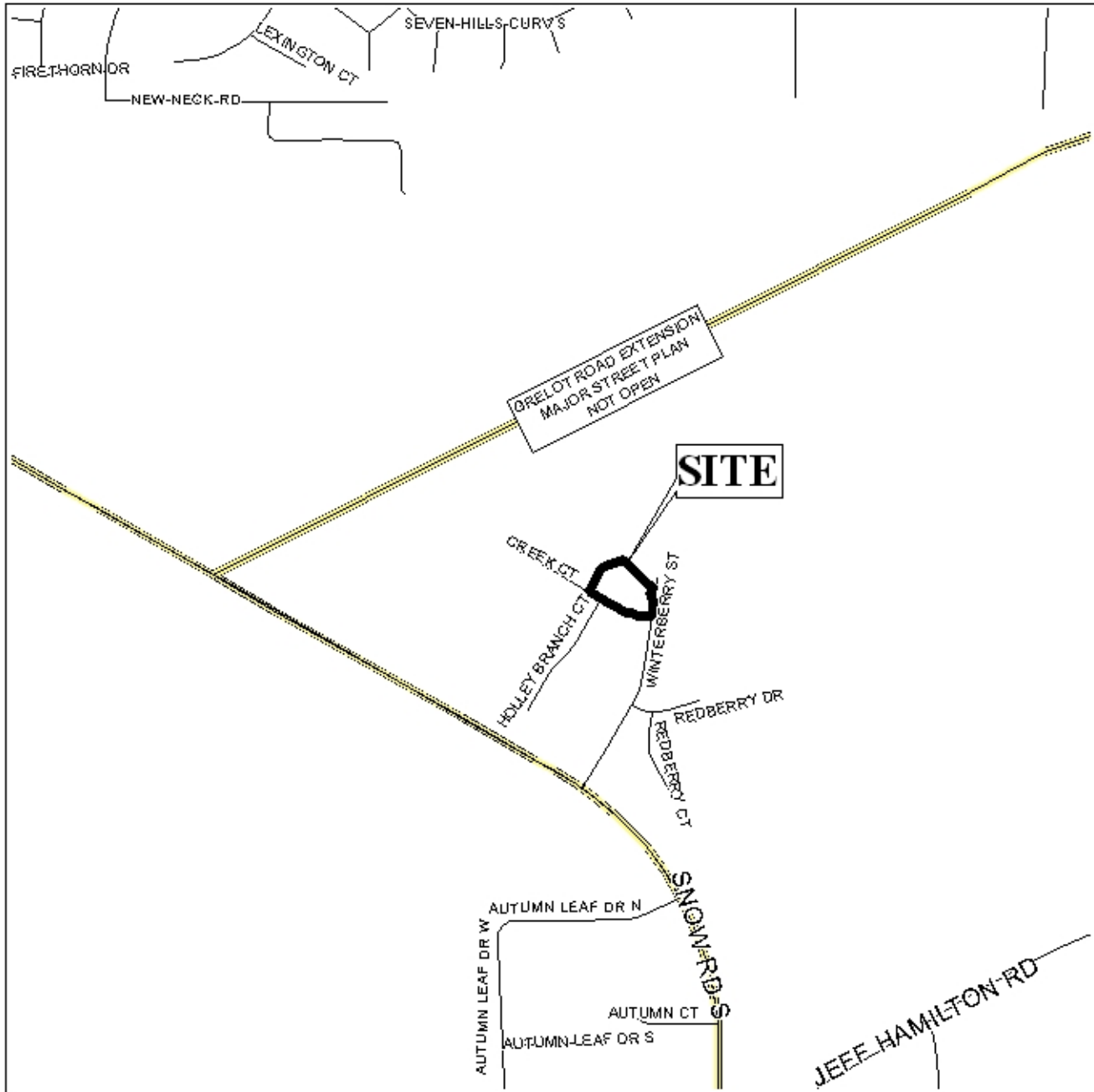
The site is located in the county; therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note stating that each lot is limited to one curb cut, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) provision of a sufficient radius on the corner of Creek Court and Winterberry Street, compliant with Section V.B.16. of the Subdivision Regulations;
- 3) the applicant obtain any necessary federal, state, and local environmental approvals;
- 4) placement of a note on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations; and
- 5) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

LOCATOR MAP



APPLICATION NUMBER 9 DATE December 20, 2007

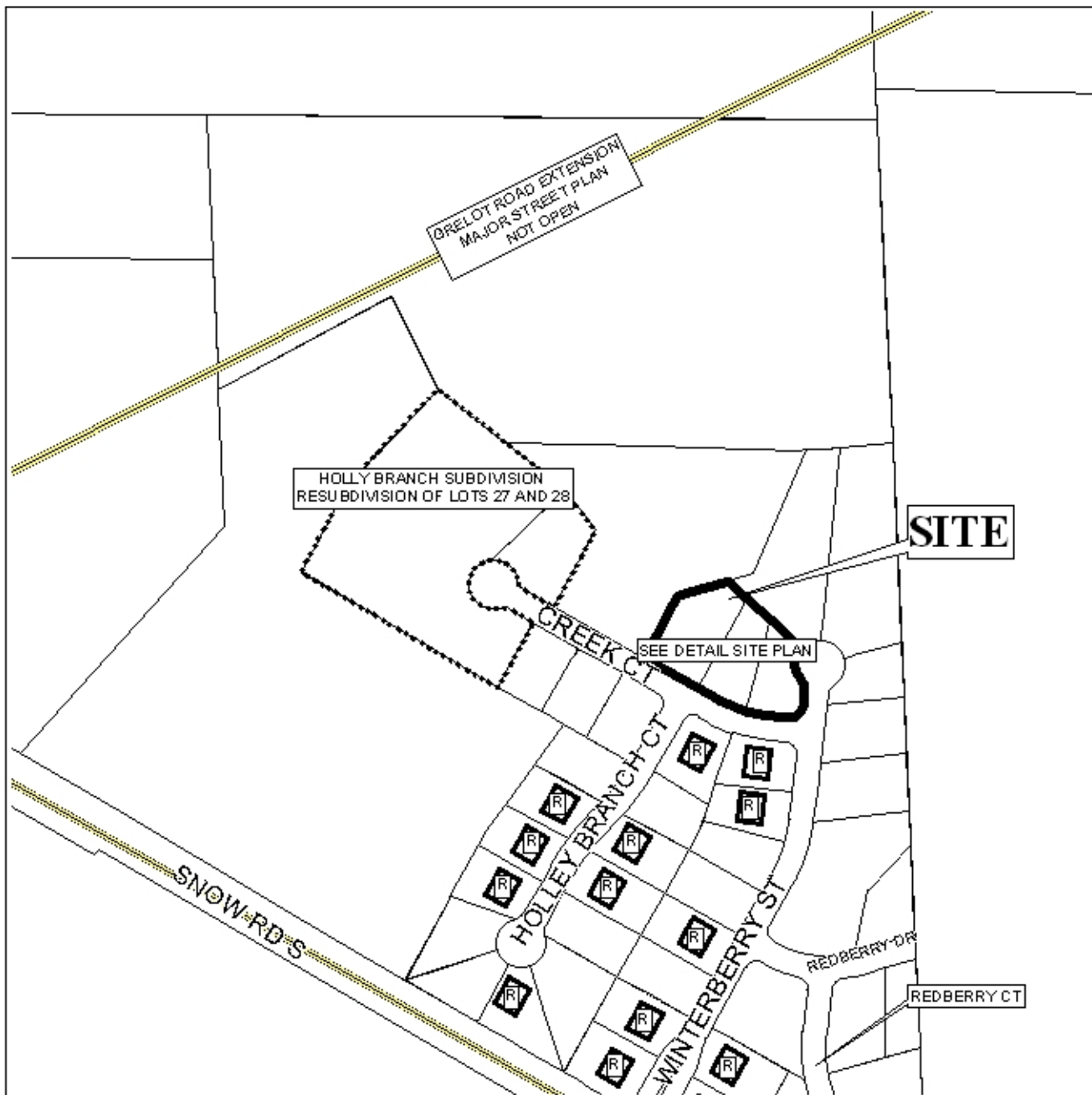
APPLICANT Holley Branch Subdivision, Resubdivision of Lots 29, 30, and 31

REQUEST Subdivision



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HOLLEY BRANCH SUBDIVISION, RESUBDIVISION OF LOTS 29, 30, AND 31



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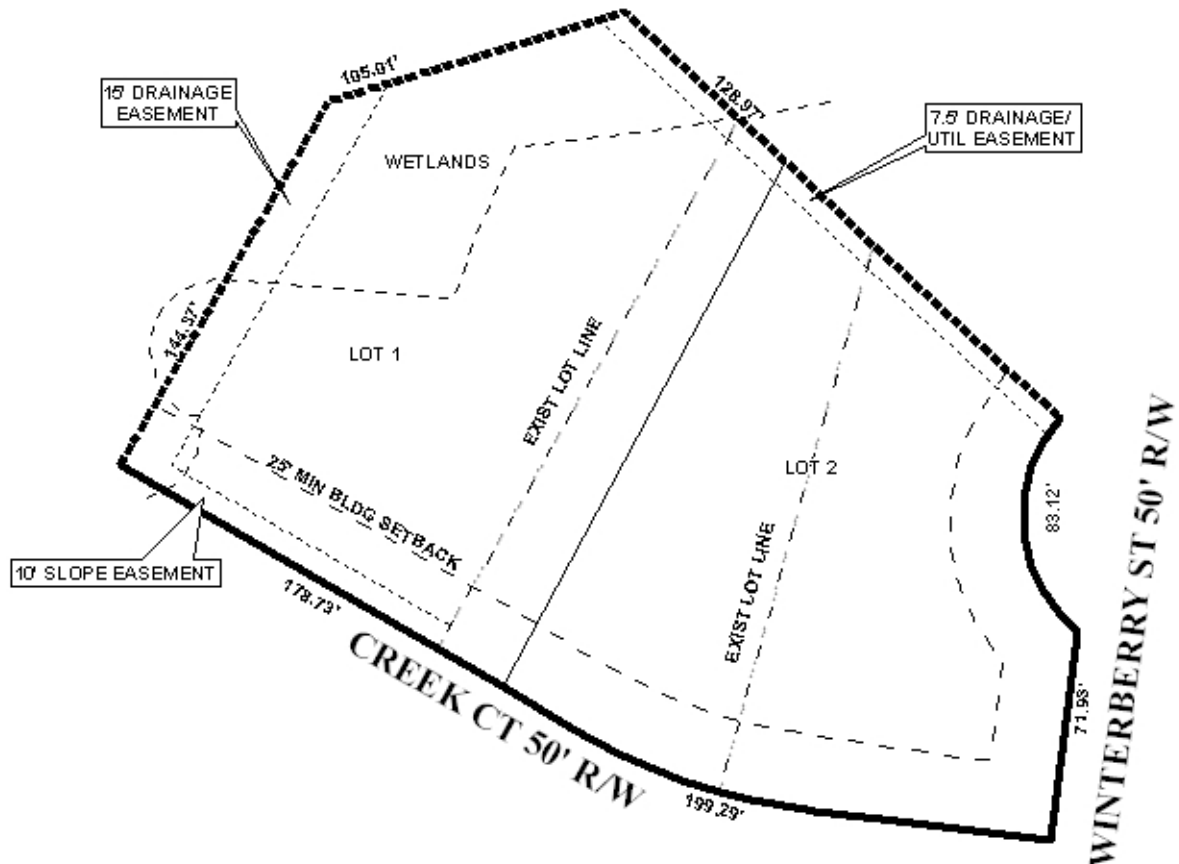
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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DETAIL SITE PLAN



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REQUEST Subdivision



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