

GULF PARK SUBDIVISION, 2ND ADDITION,
RESUBDIVISION OF LOTS 2 & 3

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has **NO** water or sewer services available.

The plat illustrates the proposed 2-lot, 3.0± acre subdivision which is located at the Southern terminus of Gulf Park Drive, within the planning jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to relocate the interior lot line between two legal lots of record. The site was part of the Gulf Park, Second Addition subdivision approved by Mobile County in 2005, before it was in the City of Mobile Planning Jurisdiction. There appears to be conflicting information between the recorded plat and the currently proposed plat concerning Gulf Park Drive. The recorded plat labels the road as a private road, while there is no mention of this on the proposed plat.

If approved, a note should be placed on the Final Plat stating that no future subdivisions will occur until Gulf Park Drive is paved to Mobile County standards.

It should be noted that the currently proposed lots are labeled as “Lot 2” and “Lot 3” on the preliminary plat. Because this subdivision is not part of the already recorded Gulf Park, 2nd Addition, the lots should be re-labeled as “Lot 1” and “Lot 2”.

Both lots contain wetlands and are located in a flood zone associated with Dykes Creek as depicted on FEMA Flood Insurance Rate Maps. The presence of these wetlands and flood zones would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

The lot size is labeled in square feet and acres on the preliminary plat, and this information should be retained on the Final Plat, if approved.

Both lots exceed the width-to-depth ratio in Section V.D.3. of the Subdivision Regulations. However, it should be noted that both lots have frontage along Dykes Creek, and it is not uncommon for long, narrow lots to be established to maximize the number of lots with water frontage.

The 25-foot minimum building setback is not shown on the preliminary plat. The setback should be illustrated and labeled for both lots on the Final Plat, if approved.

If approved, a note should be placed on the Final Plat limiting both lots to one curb cut each to Gulf Park Drive with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

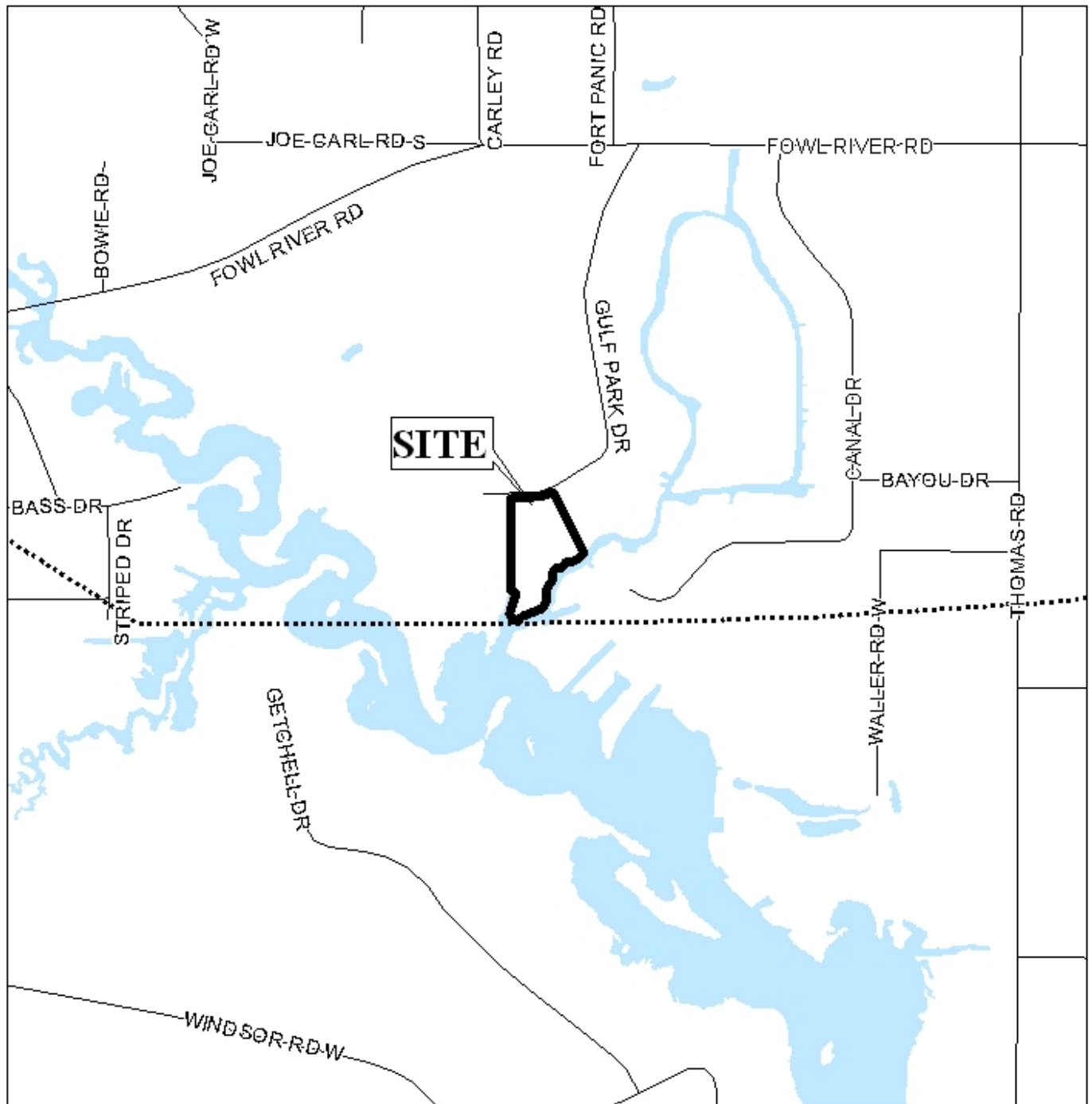
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

Based upon the preceding, the application is recommended for holdover for the following:

- 1) submittal of documentation that Gulf Park Drive is no longer privately maintained; or
- 2) revision of the plat to illustrate a private road.

LOCATOR MAP



APPLICATION NUMBER 9 DATE November 17, 2011

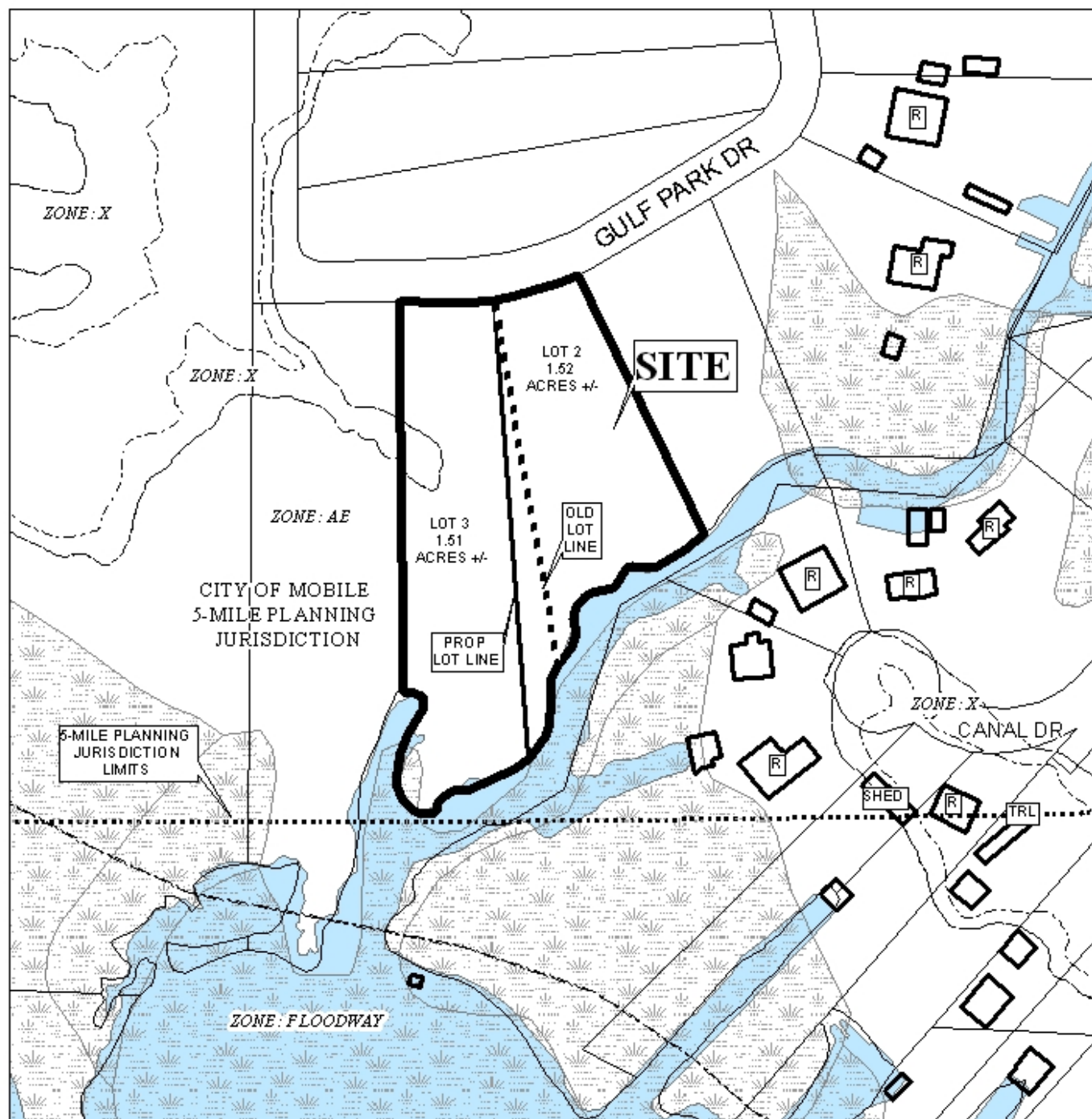
Gulfpark Subdivision, 2nd Addition, Resubdivision

APPLICANT of Lots 2 & 3

REQUEST Subdivision



GULFPARK SUBDIVISION, 2ND ADDITION, RESUBDIVISION OF LOTS 2 & 3



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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