

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: November 18, 2010****DEVELOPMENT NAME**

Group 1 Automotive, Inc.

LOCATION1005 and 1015 East I-65 Service Road South
(East side of East I-65 Service Road South, 690'± North of
International Drive).**CITY COUNCIL
DISTRICT**

District 5

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

2 Lots / 7.3± Acres

CONTEMPLATED USEPlanned Unit Development Approval to allow shared
access and parking, between two building sites.**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code. All buildings shall comply with Section 508.5.1 of the 2003 IFC.

REMARKS

The applicant is requesting Planned Unit Development approval to allow shared access and parking between two building sites.

The applicant received Subdivision and Planned Unit Development (PUD) approval in May 2008 to allow the applicant to construct a paved vehicle inventory area for an existing auto dealership, the subdivision was probated; however, due to economic downturn the project was put on hold. The applicant failed to extend the PUD within the required one-year; therefore, the application is back before the Commission.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site circulation, while not entirely ideal, does generally comply with requirements of the Zoning Ordinance. The orientation of the buildings requires two, two-way access ways to the rear of the property. The site is currently developed with two curb cuts to West I-65 Service Road South. However, the southernmost curb cut transitions to the one-way access way, which could create circulation problems. As such, the entire site should provide two-way access. The northernmost should provide access to transporters delivering inventory and the southern curb should be the main entrance for maintenance/service/repair of customer's vehicles. Any curb cut must be improved to City of Mobile and AASHTO standards. Directional arrows should be added to the one way accessway in the front of the property. Additionally, the one-way do not enter sign should be located just to the North of where the southernmost curb cut comes into the property.

The site is zoned B-3, Community Business District, thus the auto dealer-related uses are allowed by right.

The auto inventory parking area will be accessed via a two-way entrance from the existing auto dealership to the South. The inventory parking area does not illustrate an access route to allow emergency vehicle circulation through the inventory area, as well as tractor-trailer delivery of vehicles. Trees and a detention area are also depicted on the PUD site plan.

The existing auto dealership contains three (3) buildings, paved parking, and two curb-cuts onto the service road. With the PUD, the existing auto dealer should have adequate inventory storage on paved parking areas, thus any use of adjacent lots for inventory storage should be prohibited, unless those lots are developed in accordance with the Zoning Ordinance.

Additionally, there seems to be a billboard land lease for a portion of the proposed inventory lot; therefore, delineation of the lease parcel from the actual parking area would also be required.

The proposed inventory lot is Lot 2, I-65 East Service Road Development, has a note limiting this lot to one curb cut to I-65 Service Road South. However, the proposed site plan does not illustrate a curb cut to this lot, since PUD approval is site plan specific, any changes to the approved PUD site plan must be approved by the Commission.

No dumpster is depicted on the PUD site plan; therefore, if a dumpster is proposed, it should be depicted on the site plan, or a statement should be provided indicating that no dumpster will be included as part of the development. Furthermore, the development of the inventory parking area must comply with all other codes and ordinances, including Section 64-6.A.3.c. of the Zoning Ordinance pertaining to the lighting requirements of parking lots.

The site will have to comply with the City of Mobile storm water and flood control ordinances. The storm water detention system and best management practices for erosion and sediment control should be in place early in the site development process.

A Sidewalk Waiver was approved by the Commission in 2008; therefore, no sidewalks are illustrated on the site plan.

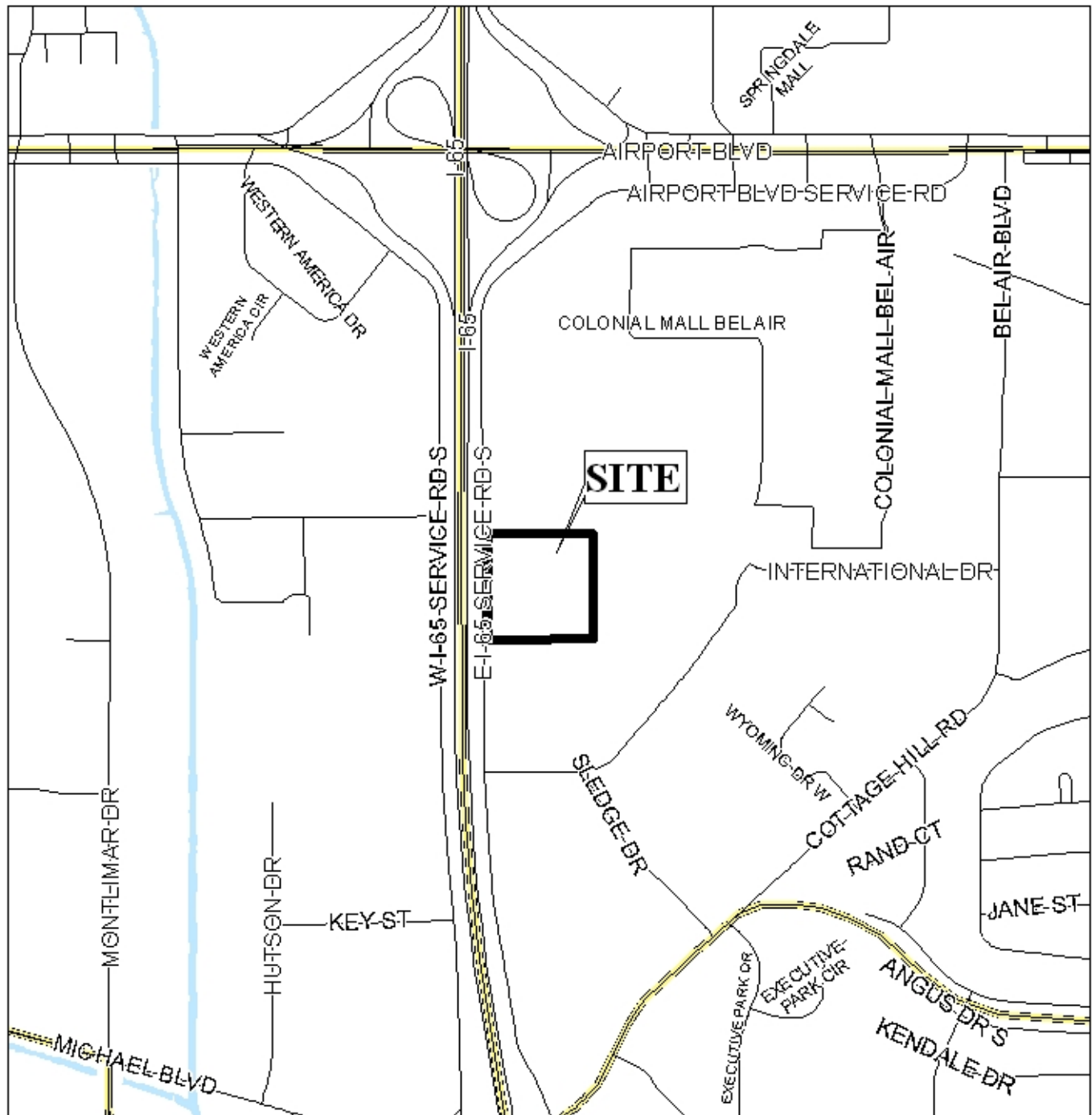
Because the site will represent more than a 50% reduction or increase in building area, full compliance with the landscaping and tree planting requirements of the ordinance will be required of the automobile storage lot. As the existing car dealership site does not currently show adequate landscaping area, and because it appears that perhaps significant site design changes will be required to attain compliance, the applicant should be prepared to modify the site plan to illustrate tree plantings to comply with the frontage requirements of the Ordinance.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) revision of the site plan to include a statement regarding the provision of a dumpster, or placement of a note on the site plan stating that dumpsters will not be provided as part of the development;
- 2) placement of a note on the PUD site plan stating that cross-access is limited to the illustrated access between Lot 2, I-65 East Service Road Development Subdivision and Lot 1, Interstate SE Subdivision, and that no vehicle inventory will be stored on adjacent lots until those lots are brought into compliance with the Zoning Ordinance;
- 3) submission of two (2) copies of the revised PUD site plan;
- 4) delineation of the billboard lease parcel from the actual inventory area;
- 5) full compliance with the Tree and Landscaping requirements of the Zoning Ordinance for the inventory site;
- 6) provision of frontage trees along I-65 Service Road on the existing car dealership lot;
- 7) compliance with Section 64-6.A.3.c. of the Zoning Ordinance pertaining to the lighting requirements of parking lots; and
- 8) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



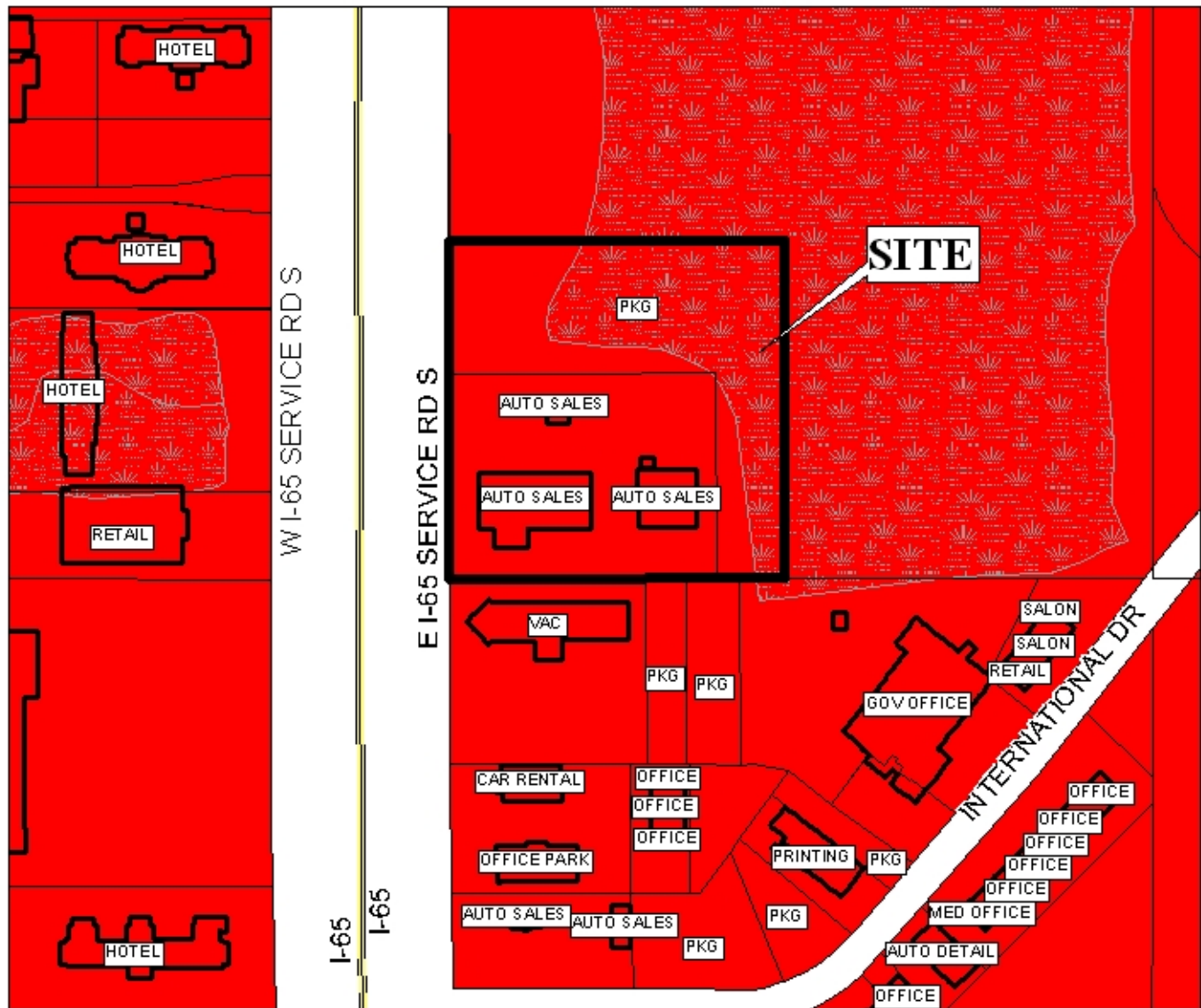
APPLICATION NUMBER 9 DATE November 18, 2010

APPLICANT Group 1 Automotive, Inc.

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is south and west of the site, vacant land is to the north and east.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



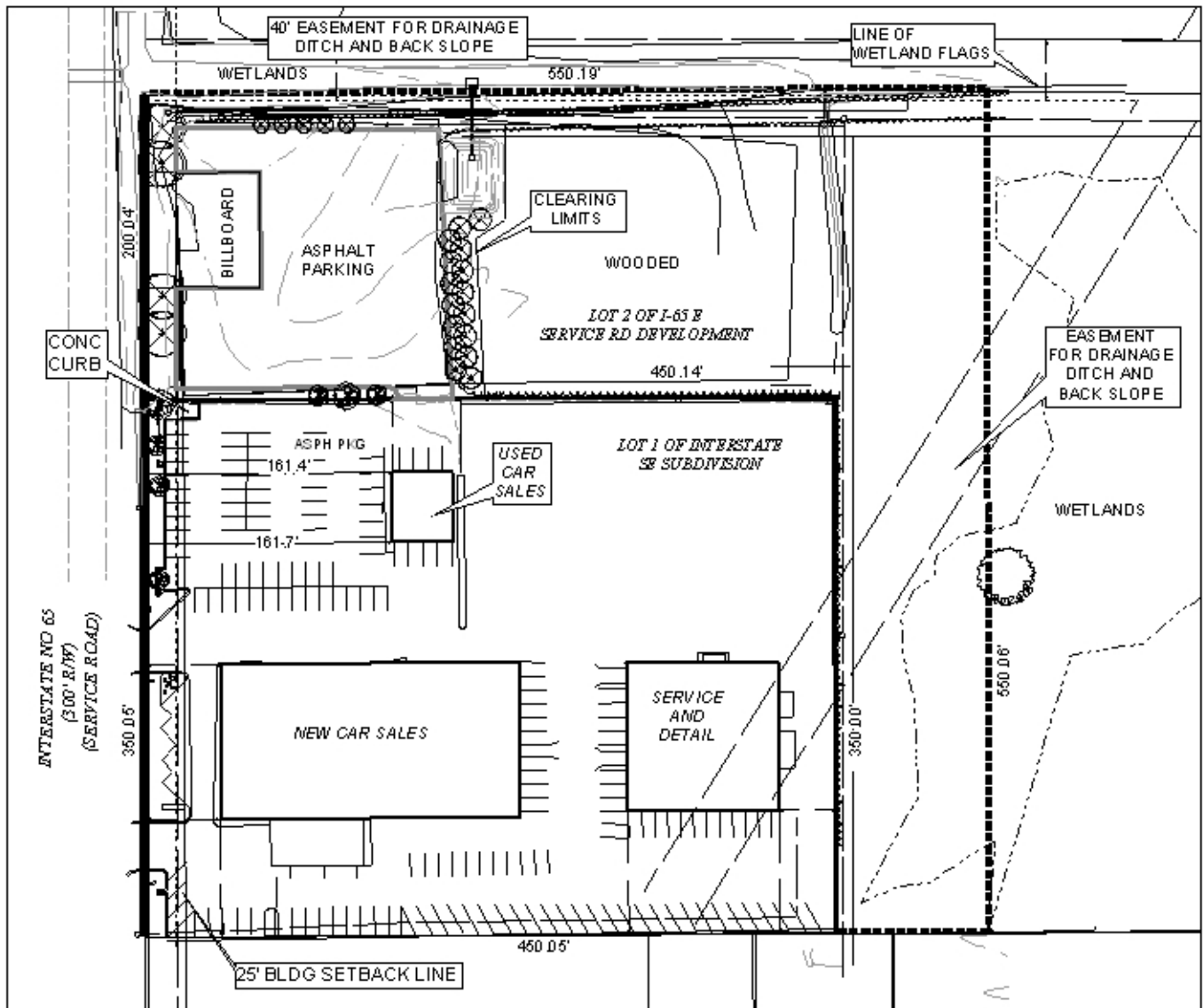
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NTS

SITE PLAN



The site plan illustrates drives, parking, easements and buildings.

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