

PLANNING APPROVAL STAFF REPORT**Date: June 17, 2004****NAME**

Eliska Wireless Ventures I, Inc. (T-Mobile)
David D. Wilkins, Agent

LOCATION

2262 Hillcrest Road
(West side of Hillcrest Road, 525' \equiv South of Charingwood
Boulevard)

**CITY COUNCIL
DISTRICT**

District 6

PRESENT ZONING

B-2, Neighborhood Business

AREA OF PROPERTY

Lease parcel: 2,500 sq. ft., Overall lot: 7.6 acres

CONTEMPLATED USE

150-foot monopole telecommunications tower

**TIME SCHEDULE
FOR DEVELOPMENT**

Summer/Fall 2004

**ENGINEERING
COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Minimum driveway width is twenty-four feet for commercial use. Driveway should be widened to twenty-four feet.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Property is to be brought into full compliance with landscaping and trees.

REMARKS

The applicant is requesting Planning Approval to allow the construction of a 150-foot monopole telecommunications tower in a B-2, Neighborhood Business district. Telecommunication towers are allowed in B-2 districts with Planning Approval.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

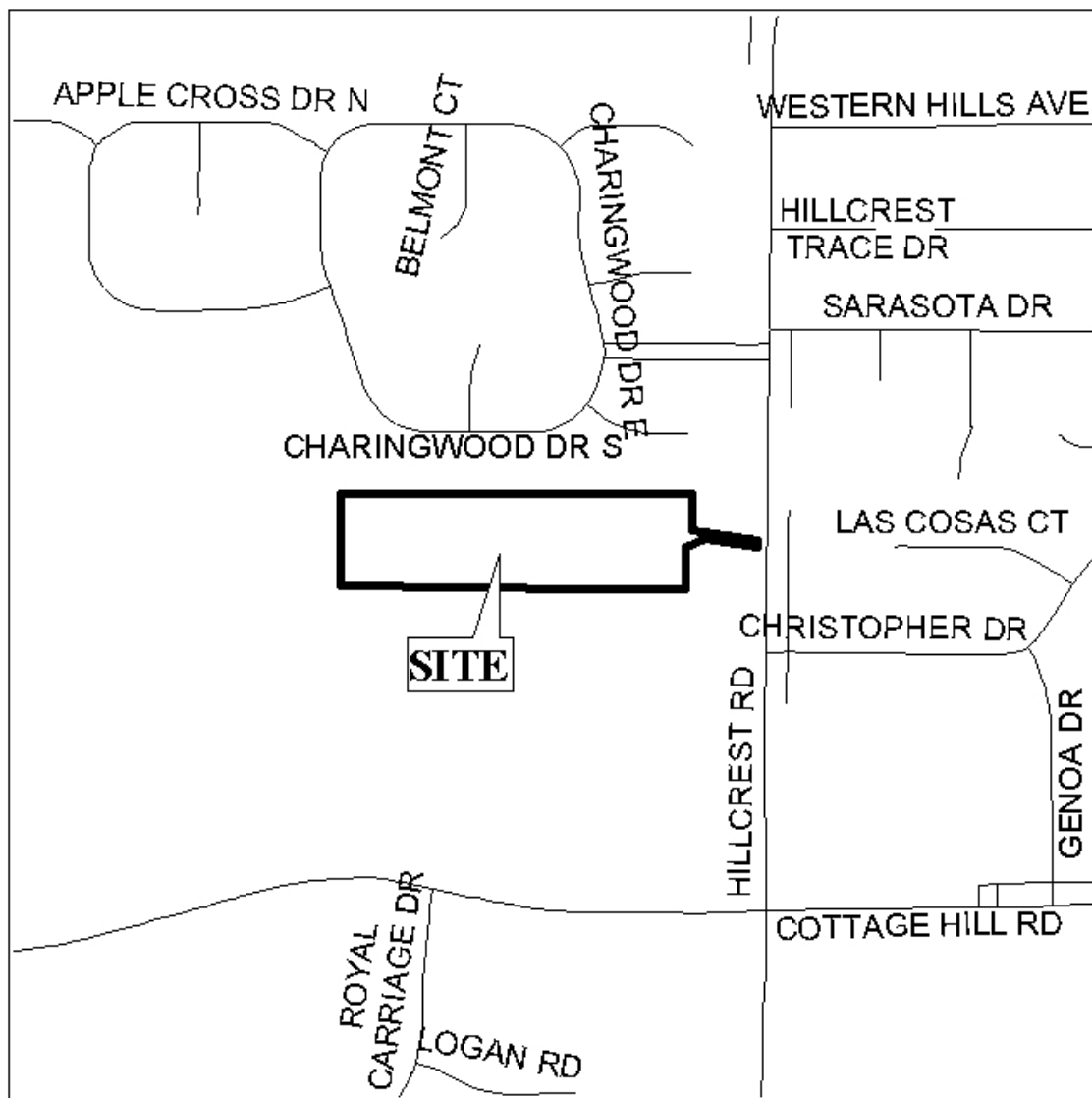
The proposed tower would be located on the southern portion of the site adjacent to the existing shopping center site, and provides an adequate buffer separation (the tower is setback more than 150 percent of its height from residential zoning) from the residential properties to the north. Additionally, the applicant has submitted documentation that there are no existing structures within a one-half radius of the site upon which to locate the telecommunications equipment.

The proposed tower will provide space for a total of three carriers and an engineer has submitted a statement that the tower will meet the structural and safety requirements of the Ordinance. The applicant also submitted propagation maps illustrating that the existing coverage for the area provide an adequate signal for outdoor and limited, in-vehicle uses. The proposed tower will provide coverage for vehicles, as well as commercial and residential buildings.

The proposed lease parcel must comply with landscaping and tree planting requirements of the Ordinance. Additionally, the Traffic Engineering Comments indicate that a 24-foot wide drive will be required for the site. Regarding the proposed access, a gravel drive is proposed; the Ordinance requires a paved drive. The applicant has requested variances from the Board of Adjustment for the gravel surface, as well as a height variance (45-feet is the maximum height in B-2) and a setback variance (a setback equal to the tower height is required). The Board of Adjustment will hear the variance requests at their July meeting.

RECOMMENDATION Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance (for the lease parcel); 2) approval of any necessary variances from the Board of Zoning Adjustment; 3) provision of a 24-foot wide drive as required by Traffic Engineering; and 4) full compliance with all municipal codes and ordinances.

LOCATOR MAP



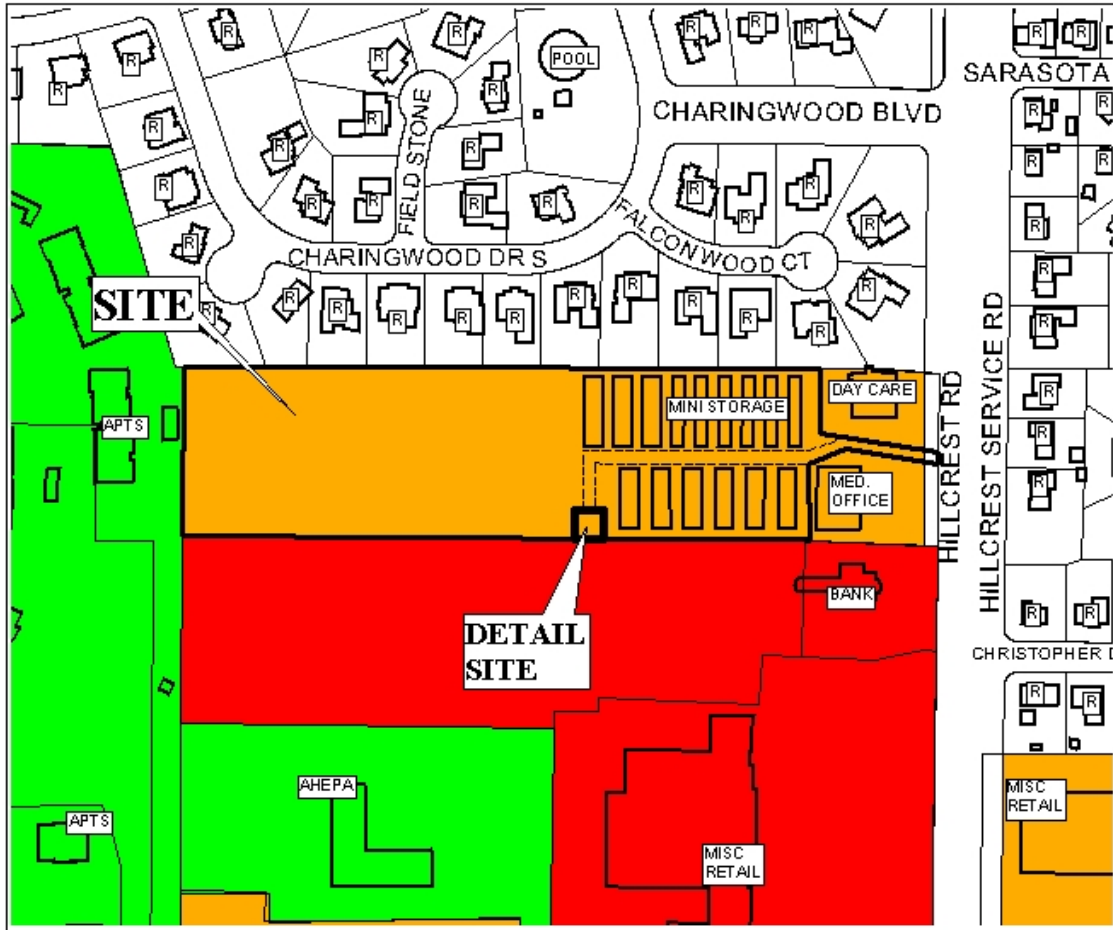
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous retail, offices, and daycare, with single family residential dwellings located to the North.

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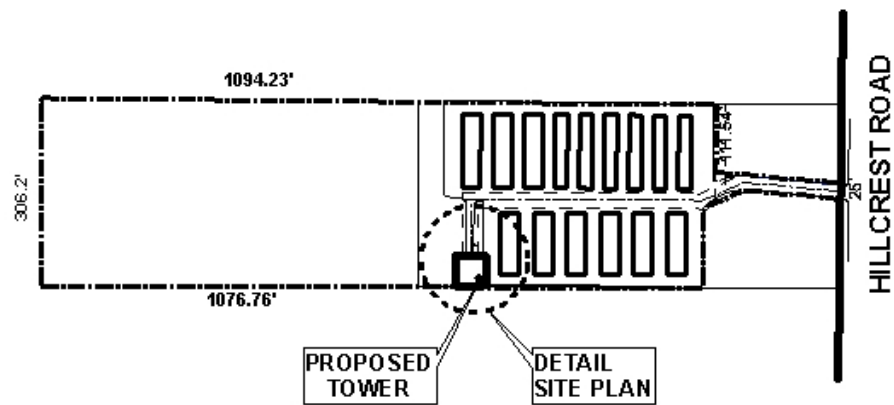
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LEGEND

R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2



SITE PLAN

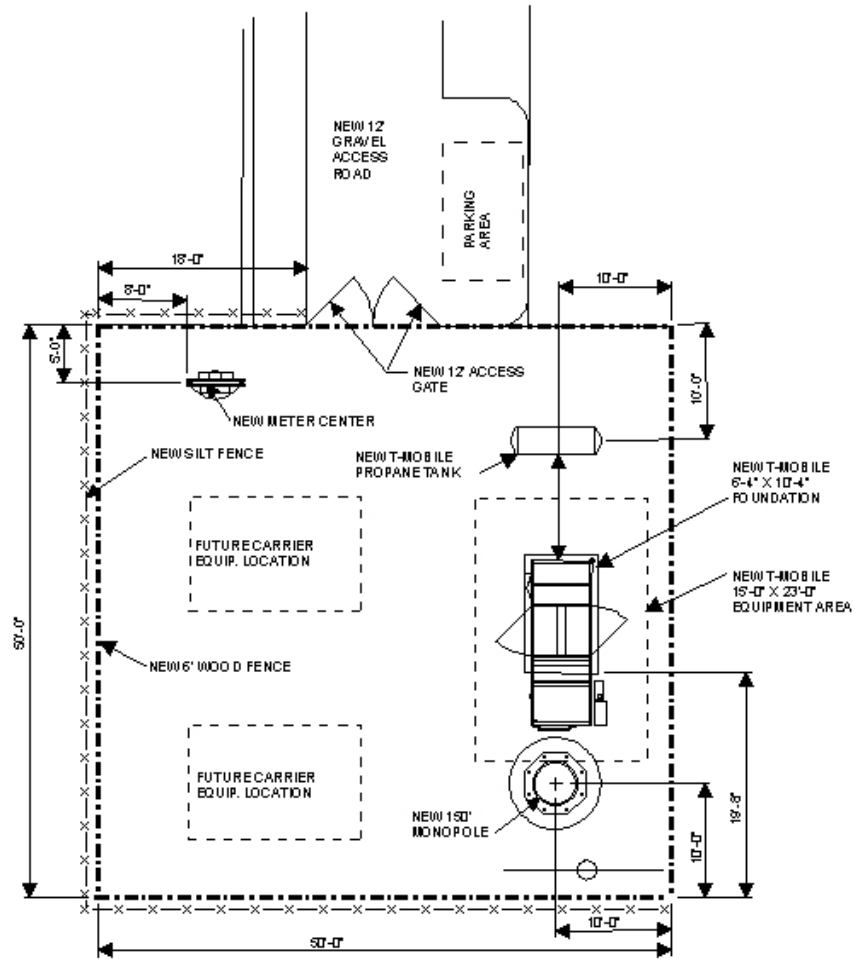


The site is located on the West side of Hillcrest Road, 525' South of Charingwood Boulevard. The plan illustrates the existing structures, along with the proposed tower.

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DETAIL SITE PLAN

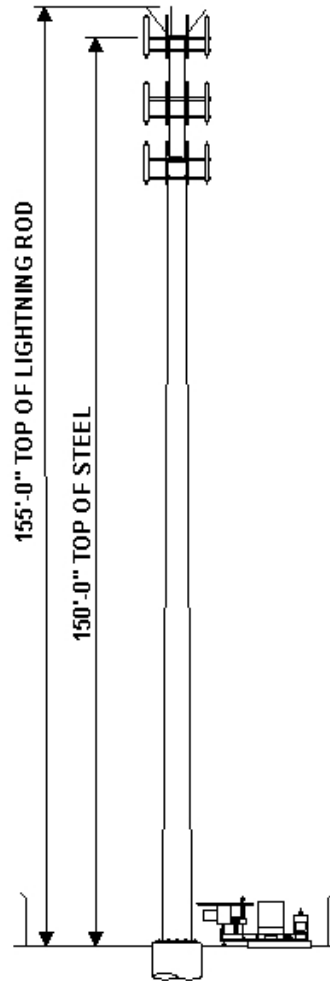


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