

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: June 21, 2018****NAME**

Dip n Dash, LLC

**LOCATION**

2369 Dauphin Island Parkway  
Northeast corner of Dauphin Island Parkway and Rifles  
Road extending to the Southeast corner of Rifles Road and  
Rosedale Road).

**PRESENT ZONING**

B-2, Community Business District

**ENGINEERING****COMMENTS**

There is an existing roadside ditch and existing chain link  
fence that would prevent construction of a sidewalk within the current Rosedale Rd. ROW.

**TRAFFIC ENGINEERING****COMMENTS**

No Comments.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local  
laws that pertain to tree preservation and protection on both city and private properties (State Act  
2015-116 and City Code Chapters 57 and 64).

**REMARKS**

The applicant is requesting a waiver for the construction of  
a sidewalk at 2369 Dauphin Island Parkway along Rosedale Road. The property is vacant, and  
the applicant proposes to develop a new carwash a new carwash.

It should be noted that the Planning Commission denied a sidewalk waiver request at 2020  
Rosedale Road in 1994 which is only 240'± West of the subject site on the North side of  
Rosedale Road.

The applicant states:

*“We are requesting a sidewalk waiver on the north side of the proposed property along  
Rosedale Road. There is an existing drainage ditch that runs the length of our property  
from the property line to the edge of roadway. The ditch size and location does not  
warrant as sidewalk in the right of way along this strip of roadway. Presently there are  
no sidewalks located along Rosedale Road and Cassie Lane. We are providing sidewalks  
along the east side of Rifles and creating or repairing sidewalks along the north side of  
Dauphin Island Parkway. The existing ditch begins to disappear east of our property.  
There is adequate area in the right-of-way on the north side of Rosedale Road to provide  
sidewalks. Crossing at Rifles and Rosedale will allow pedestrian traffic to still work  
along Rosedale Road with future developments and sidewalks. Based on the location, size*

*and type of the drainage ditch in this area, we are requesting a sidewalk waiver for this property.”*

It should be noted that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile’s transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

This development site is adjacent to B-2 and R-1 zoned properties to the North, R-1 properties to the West and South, and R-1 and B-1 properties to the East.

The adjacent properties along both the North and South sides of Rosedale Road do not have sidewalks installed currently. The drainage ditch is located to the South Side of Rosedale Road and directly abuts the subject property, and the City Engineering Department has confirmed that there is an existing chain link fence and roadside ditch along Rosedale Road that would potentially prevent the construction of a sidewalk. It should be noted however, that should the properties to the North Side of Rosedale Road be redeveloped, they would be required to provide a sidewalk because there does not appear to be any factors that would prevent sidewalk construction.

A sidewalk at the subject site would provide better connectivity to adjacent properties. Although the construction of a sidewalk at this location is desirable, according to Engineering comments and aerial images, there do appear to be factors that would prevent sidewalk construction along the Rosedale Road right-of-way, but no conditions would prevent construction of the sidewalk on private property. The applicant has expressed the willingness to comply with sidewalk requirements on all other areas of the property and simply wishes to avoid construction of a sidewalk along a primary residential street.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the sidewalk along Rosedale Road is recommended for denial.

# LOCATOR MAP



APPLICATION NUMBER 9 DATE June 21, 2018

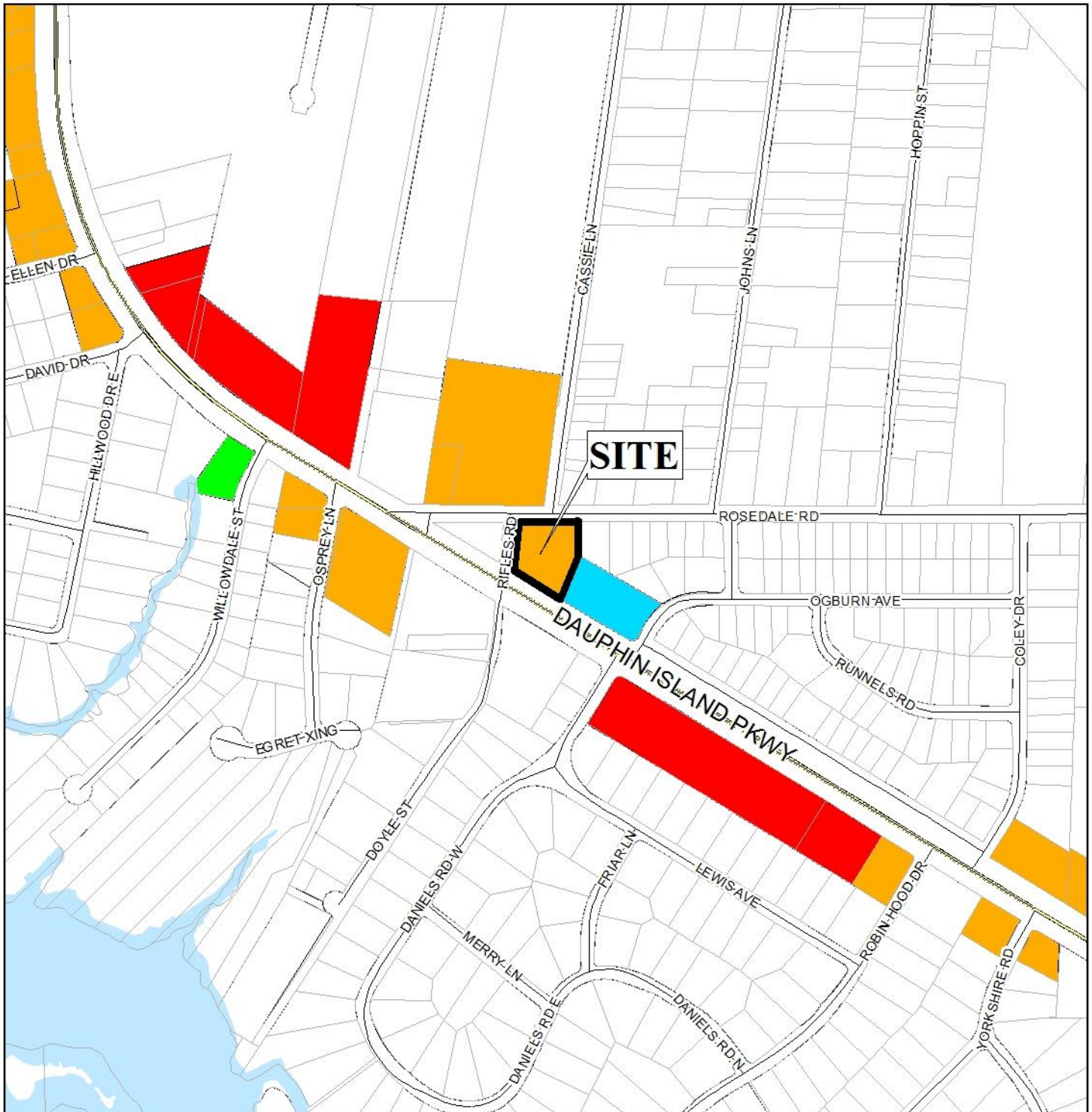
APPLICANT DIP N DASH, LLC

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NTS

# LOCATOR ZONING MAP



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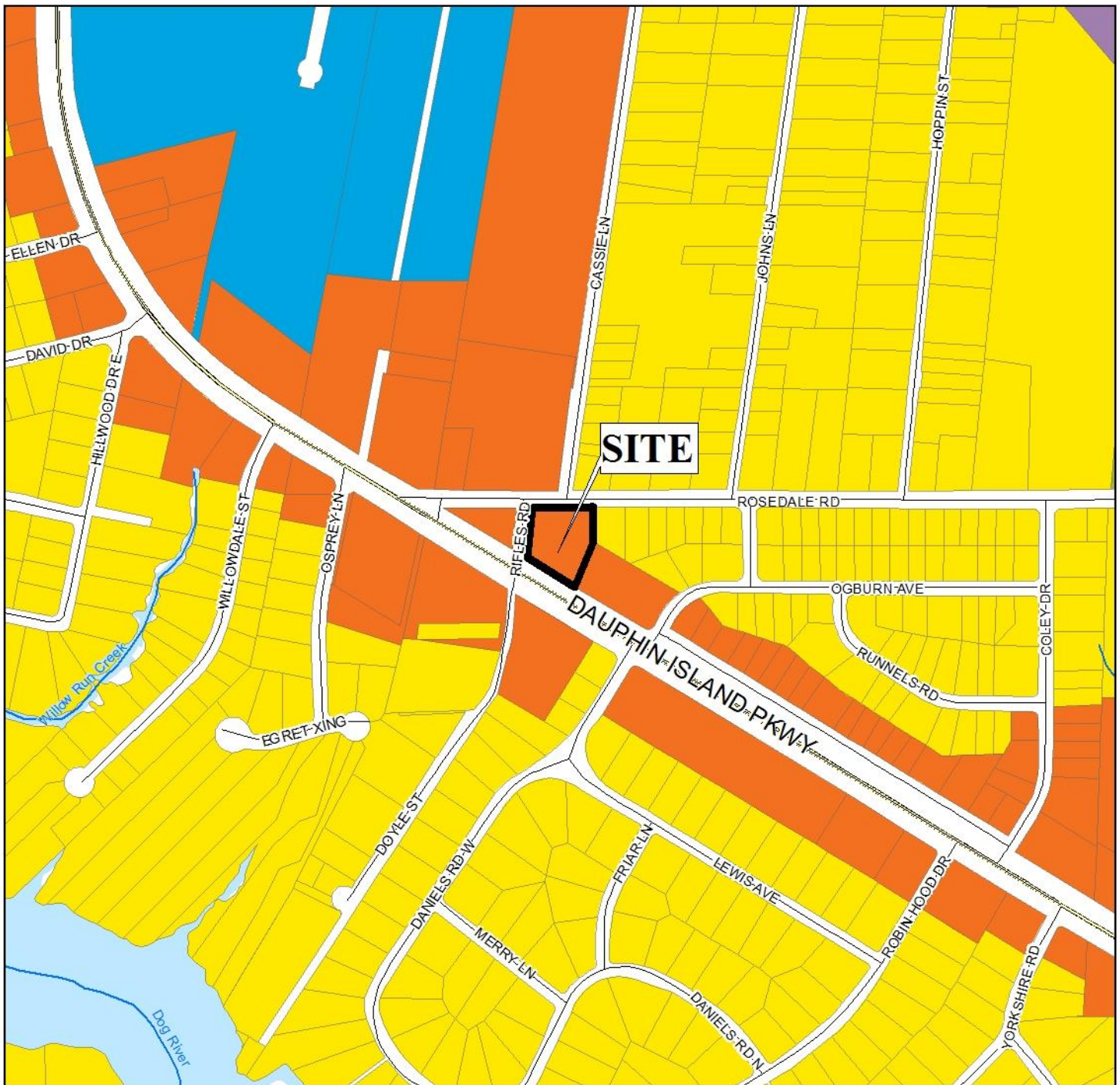
APPLICANT DIP N DASH, LLC

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# FLUM LOCATOR MAP



APPLICATION NUMBER 9 DATE June 21, 2018

APPLICANT DIP N DASH, LLC

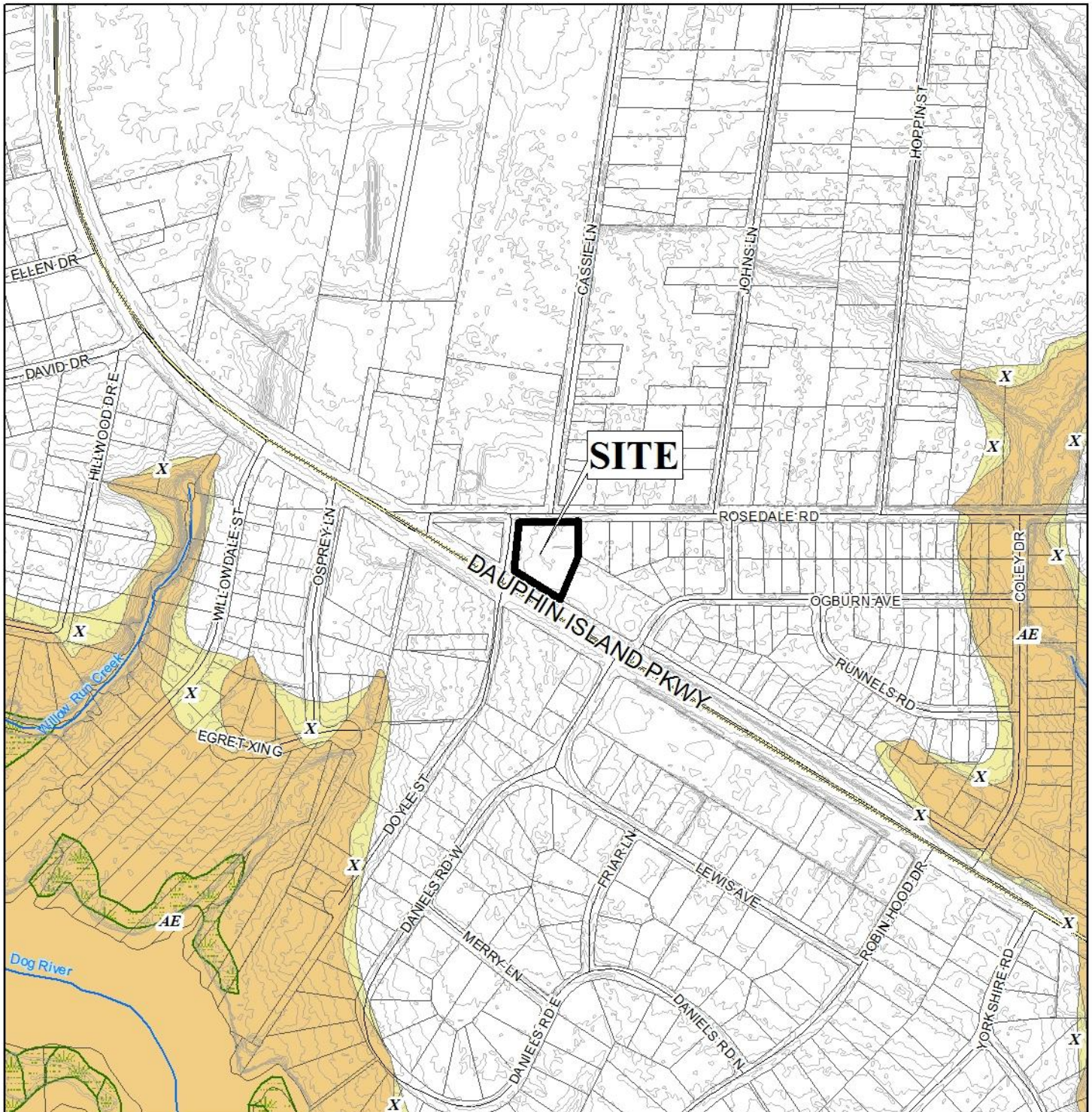
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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



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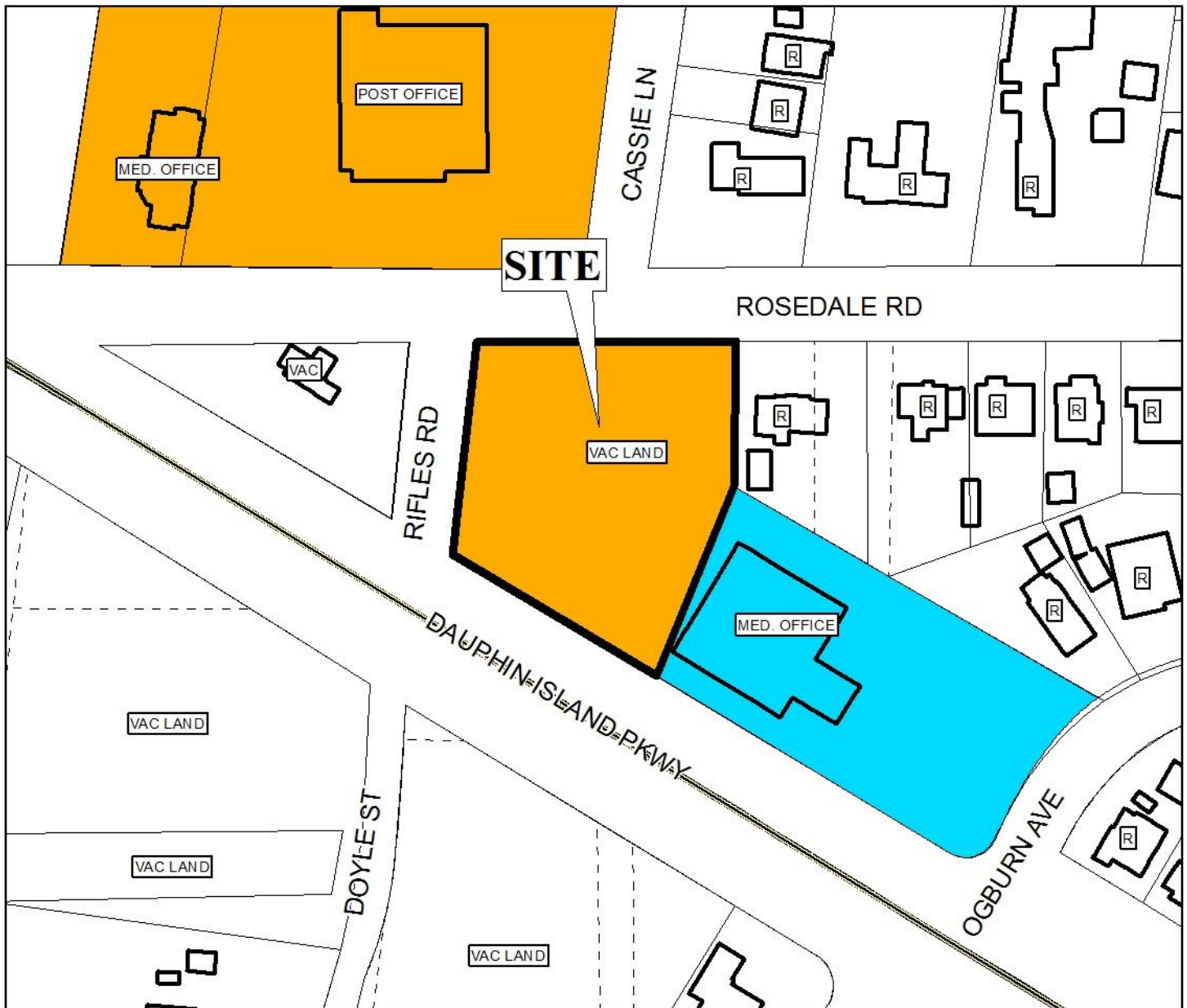
APPLICANT DIP N DASH, LLC

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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



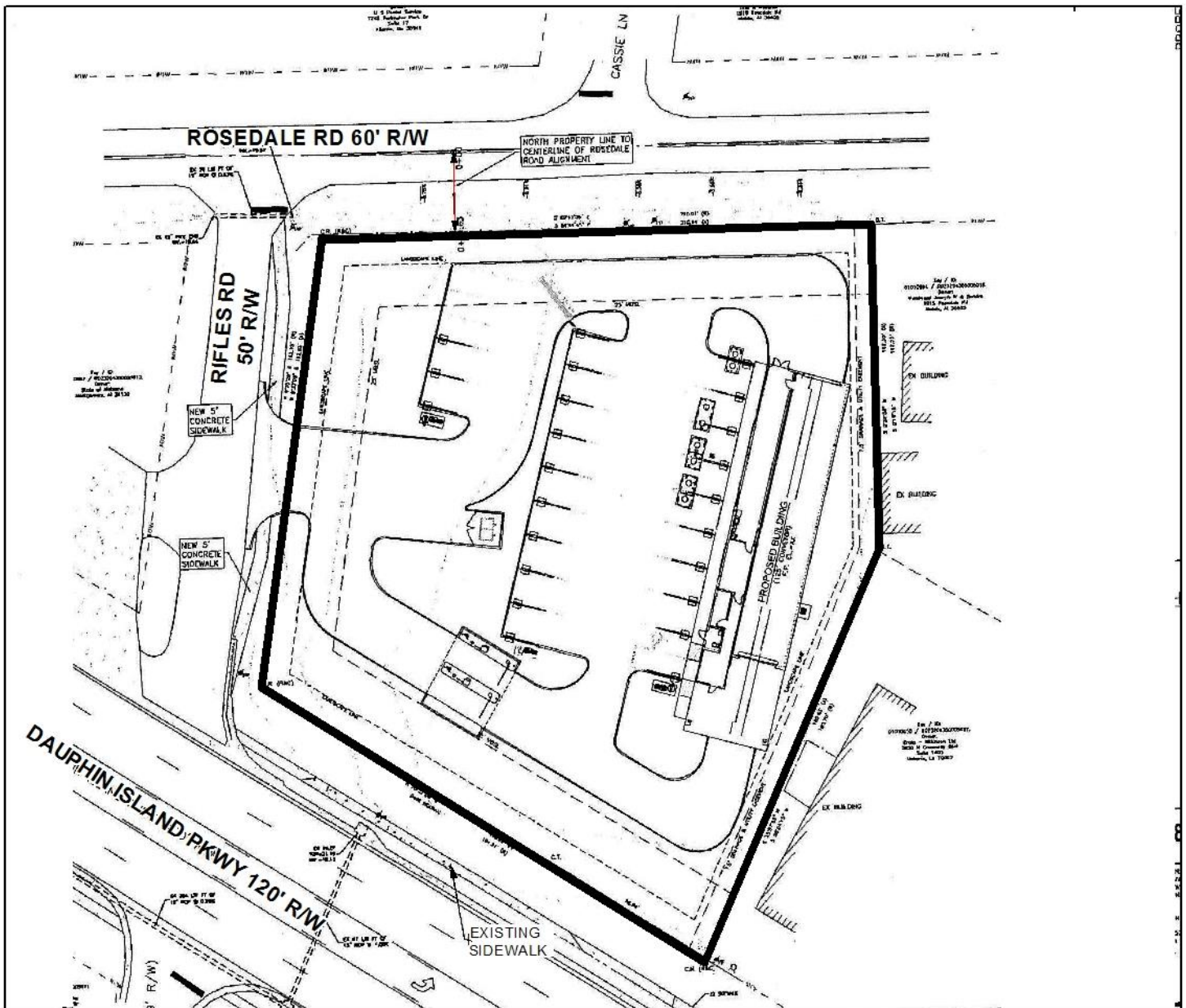
The site is surrounded by residential and commercial units.

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# SITE PLAN

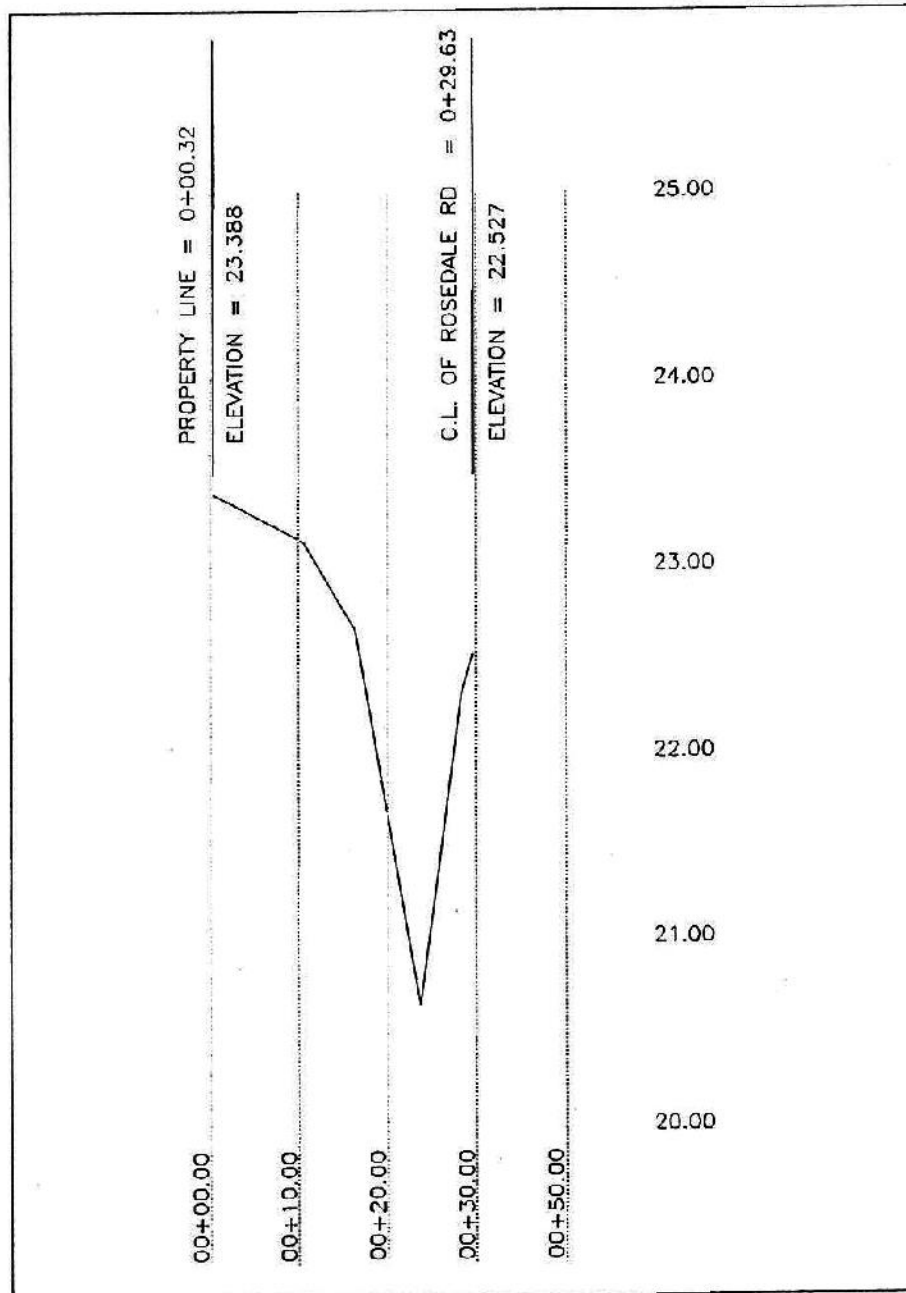


The site plan illustrates the site location, sidewalks, and area requested for sidewalk waiver.

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# DETAIL SITE PLAN



EXISTING PROFILE:  
NORTH PROPERTY LINE TO CENTERLINE OF ROSEDALE RD  
 HORIZONTAL SCALE: 1" = 10'  
 VERTICAL SCALE: 1" = 1'

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