

DAVID POIROUX PLACE SUBDIVISION,
RESUBDIVISION OF

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Mobile Area Water & Sewer System Comments: MAWSS has no water or sewer services available.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile.

The plat illustrates the proposed two-lot, 10.5± acres subdivision which is located on the East side of Maurice Poiroux Road, 1 mile± North of Old Pascagoula Road. The subdivision, which is located outside the Mobile City Limits, is served by public water and individual septic systems.

The purpose of this application is to resubdivide two existing lots of record and adjust the minimum building setback line.

The site fronts on Maurice Poiroux Road, with a 60' right-of-way, and no dedication is required. As a means of access management, each lot should be limited to one curb cut to Maurice Poiroux Road, with the size, location, and design to be approved by the Mobile County Engineering Department.

The plat indicates a 50' minimum building setback line along Maurice Poiroux Road for both lots. The original David Poiroux Place Subdivision indicates a 50' building setback line only on Lot 1, and that is along part of the West side (the street side), and the South side adjoining the neighboring property to the South. The adjusted minimum building setback line should also be indicated on the final plat.

No lot sizes were indicated on the submitted plat; therefore, the plat should be revised to label each lot with its size in square footage, or there should be the provision of a table on the plat depicting the same information.

Since this site is in the County, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations.

The site is in the unincorporated part of Mobile County; nevertheless, development should be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances. Submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits

should be required. Certification should be submitted to the Planning Section of Urban Development and County Engineering.

The reconfiguration of the internal lot lines appears to be along existing fence lines. The rear 50' of Lot 1 would be gained by Lot 2, and a 10'± wide "finger" would be taken out of Lot 1 along its South line and become part of Lot 2. While the reduction of the 50' to the rear of Lot 1 is not an issue, the creation of the 10'± "finger" along the South of Lot 1 becoming a part of Lot 2 would not be compliant with Section V.D.3. of the Subdivision Regulations. Although this section is often waived for flag-lot subdivisions, the minimum road frontage required by policy is 25'. In this instance, only about 10' of road frontage would be provided on this portion of Maurice Poiroux Road, whereas, approximately 148' of road frontage would be provided on the remaining frontage of Lot 2.

With a revision of the plat to eliminate the 10'± wide "finger" along the South side of Lot 1, and a waiver of Section V.D.3. of the Subdivision Regulations for Lot 2, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to remove the 10'± "finger" along the South side of Lot 1;
- 2) placement of a note on the final plat stating that each lot is limited to one curb cut to Maurice Poiroux Road, with the size, location, and design to be approved by the Mobile County Engineering Department;
- 3) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat depicting the same information;
- 4) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and
- 5) placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning Section of Urban Development and County Engineering.

LOCATOR MAP



APPLICATION NUMBER 9 DATE September 20, 2007

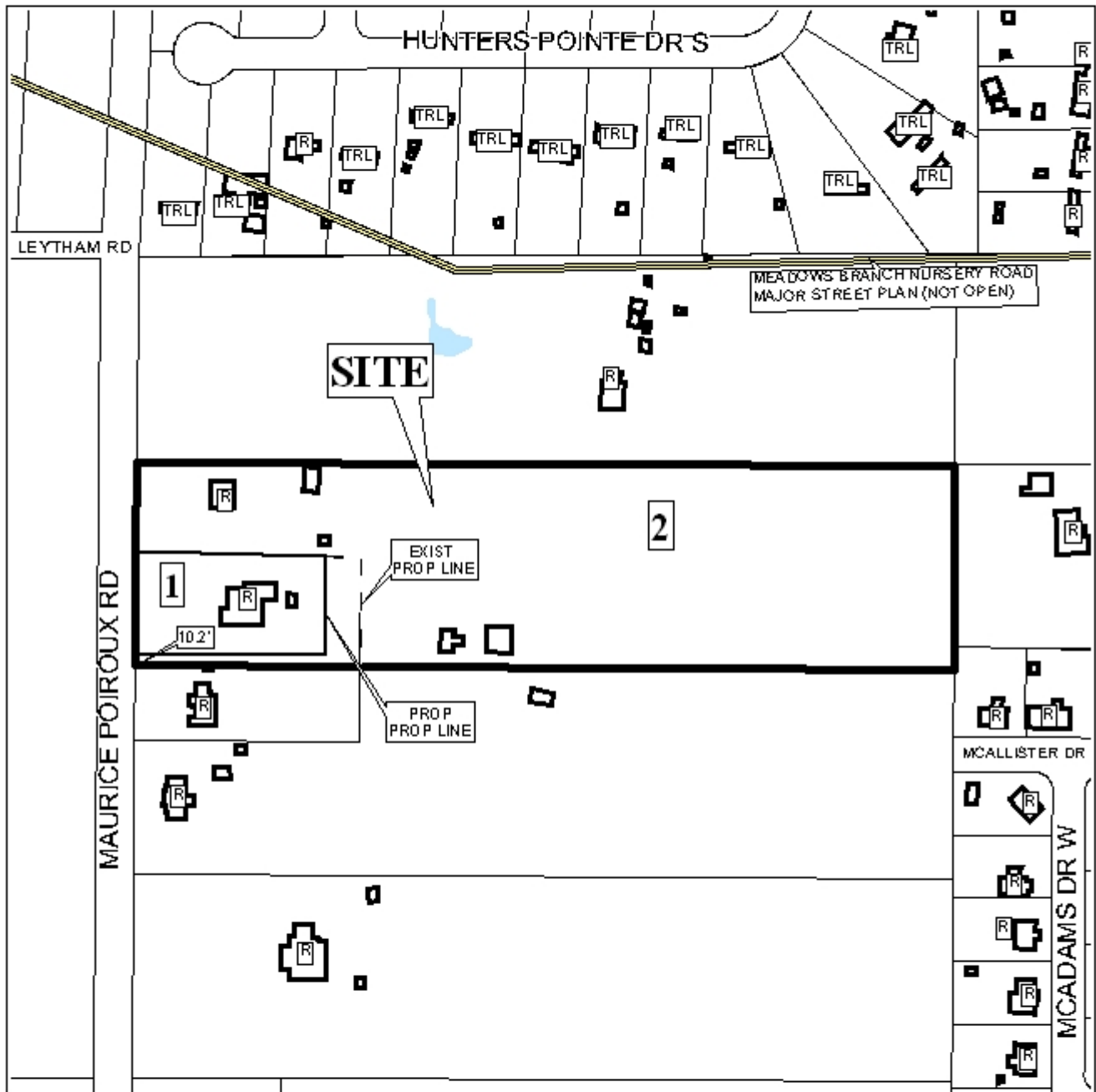
APPLICANT Resubdivision of David Poiroux Place

REQUEST Subdivision



NTS

RESUBDIVISION OF DAVID POIROUX PLACE SUBDIVISION



APPLICATION NUMBER 9 DATE September 20, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	



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