

## **BURLINGTON ESTATES SUBDIVISION, PHASE I**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: No comments.

The plat illustrates the proposed 91-lot, 30.0± acre subdivision which is located on the West side of Eliza Jordan Road South, 625'± North of Airport Boulevard, in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create 91 legal lots of record from a portion of one legal lot of record which will include the construction of new streets. It should be noted that the site is a portion of Lot 2, Eliza Jordan Corner Subdivision which was approved by the Commission at its November 19, 2015 meeting. This application is similar to Burlington Subdivision, Phase I, approved by the Commission at its January 7, 2016 meeting. That subdivision contained 123 lots but the plat was never signed and the approval expired.

The site fronts Eliza Jordan Road South which is a component of the Major Street Plan with a planned 100' right-of-way. As dedication to provide 50' from the centerline of Eliza Jordan Road South was recorded with Eliza Jordan Corner Subdivision, no further frontage dedication would be required. As on the preliminary plat, the Final Plat should retain the 25' minimum building setback line along all street frontages.

Access management is a concern along Eliza Jordan Road South; therefore, a note should be required on the Final Plat, if approved, stating that Lots 1, 31 and the Common Area 3 are denied access to Eliza Jordan Road South. All lots and Common Area 3 should be limited to one curb cut each, with the size, location and design to be approved by Mobile County Engineering.

Lots and Common Area 3 are labeled on the preliminary plat in square feet only. Therefore, the plat should be revised to label each lot and Common Area 3 with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

Section V.D.2. of the Subdivision Regulations establishes minimum lot dimensions and areas. The plat indicates that many of the proposed lots are of substandard width (less than 60' wide at the building setback line) and/or of substandard size (less than 7,200 square feet). Many of the lots are only 50' wide at the building setback line and one lot is as small as 5,652 square feet. And Section V.D.3. states that the depth of lots shall not be more than 3.5 times the width of the lot at the building setback line. Several of the lots exceed the allowable ratio. However, the original approval of the Burlington & Sierra Master Plan Subdivision was based on the applicant

submitting justification as an innovative Subdivision allowing for such reductions as in other similar Subdivisions in the Jurisdiction. The currently proposed lot configurations are similar to those in that original approval and a waiver of Sections V.D.2. and V.D.3. would be in order.

Drainage and/or utility easements are indicated in various parts of the Subdivision. Therefore, a note should be placed on the Final Plat stating that no structures may be constructed or placed within any easement.

As the Subdivision contains Common Areas, a note should be required on the Final Plat stating that maintenance of all Common Areas is the responsibility of the property owners.

Since the site does not include all of Lot 2, Eliza Jordan Corner Subdivision, the plat should be revised to show the remainder of that lot and label it as Future Development.

Development of the site will require the construction of new streets. Therefore, the Final Plat should not be signed until a County Letter of Acceptance for the constructed streets is provided.

The site has closed-end streets that exceed 600 feet. Thus, a waiver of Section V.B.6 of the Subdivision Regulations would be required. The plat indicates compliant turnaround right-of-way diameters of 130 feet for cul-de-sacs and this should be retained on the Final Plat, if approved. A temporary turn-around easement is provided at the West terminus of Burlington Estates Drive, but not at the termini of other street stubs. If required by County Engineering, the plat should be revised to provide temporary turnarounds for all street stubs.

The site has property lines at an intersection corner. Section V.D.6. of the Subdivision Regulations requires that *"property lines at street intersection corners shall be arcs having radii of at least 10 feet or shall be chords of such arcs."* The plat should retain the 25' radii onto Eliza Jordan Road South.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

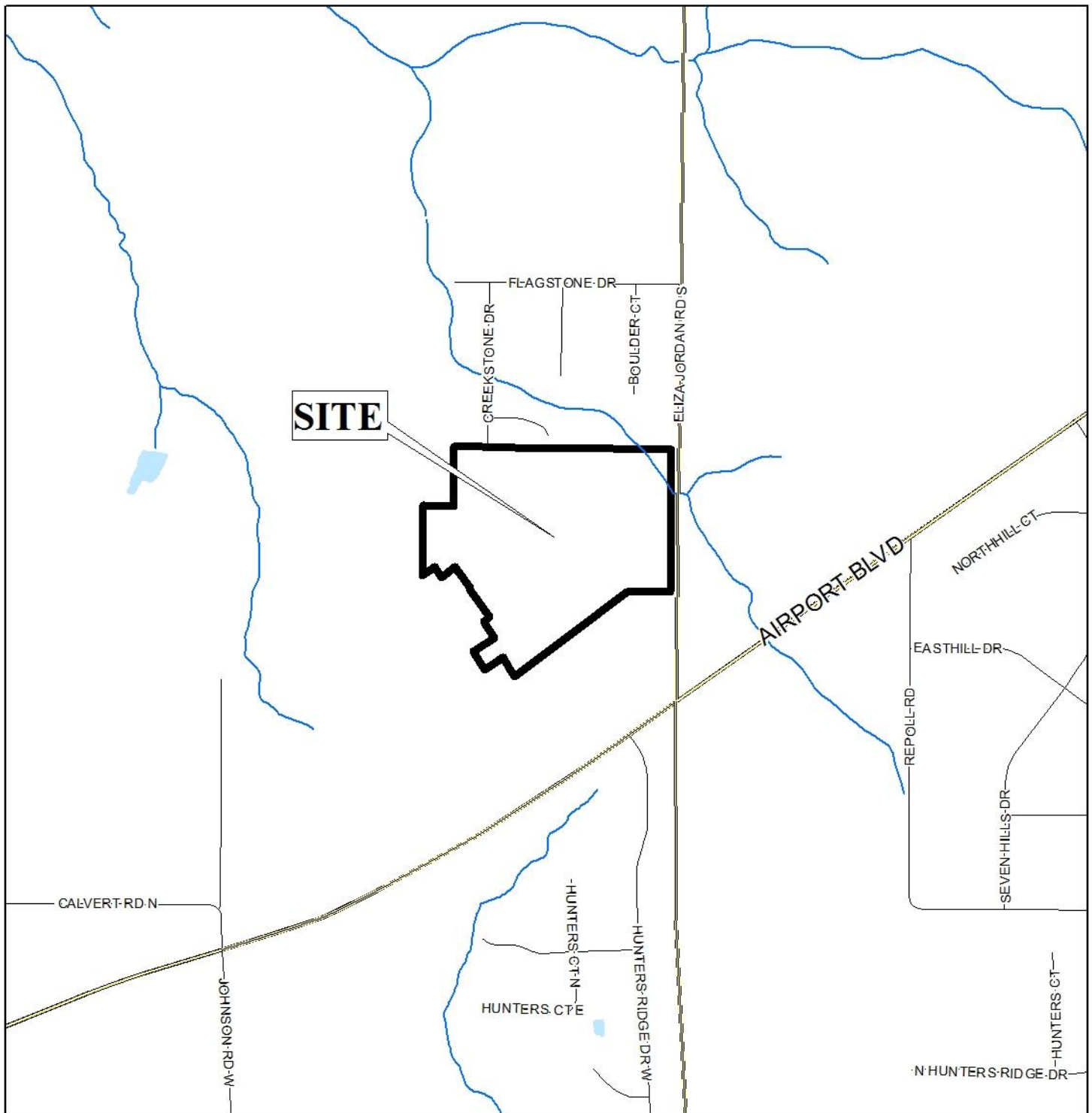
The site will have to comply with the City of Mobile storm water and flood control ordinances. A note regarding this requirement should appear on the Final Plat.

**RECOMMENDATION** With waivers of Sections V.B.6., V.D.2. and V.D.3. of the Subdivision Regulations, the plat meets the minimum requirements and is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of the 25' minimum building setback line along all street frontages;
- 2) placement of a note on the Final Plat stating that Lots 1, 31 and the Common Area 3 are denied access to Eliza Jordan Road South;
- 3) placement of a note on the Final Plat stating that all lots and Common Area 3 are limited to one curb cut each, with the size, location and design to be approved by Mobile County Engineering;

- 4) revision of the plat to label each lot and Common Area 3 with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat stating that no structures may be constructed or placed within any easement;
- 6) placement of a note on the Final Plat stating that maintenance of all Common Areas is the responsibility of the property owners;
- 7) revision of the plat to include the remainder of Lot 2, Eliza Jordan Corner Subdivision and label it as Future Development;
- 8) the provision of a County Letter of Acceptance for new street construction within the Subdivision prior to signing the Final Plat;
- 9) revision of the plat to provide temporary turnarounds on all street stubs to the Future Development area, if required by County Engineering;
- 10) retention of the 25' curb radii in compliance with Section V.D.6. of the Subdivision Regulations along Eliza Jordan Road South;
- 11) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 12) compliance with the Engineering comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 13) compliance with the Fire-Rescue Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).].*

# LOCATOR MAP



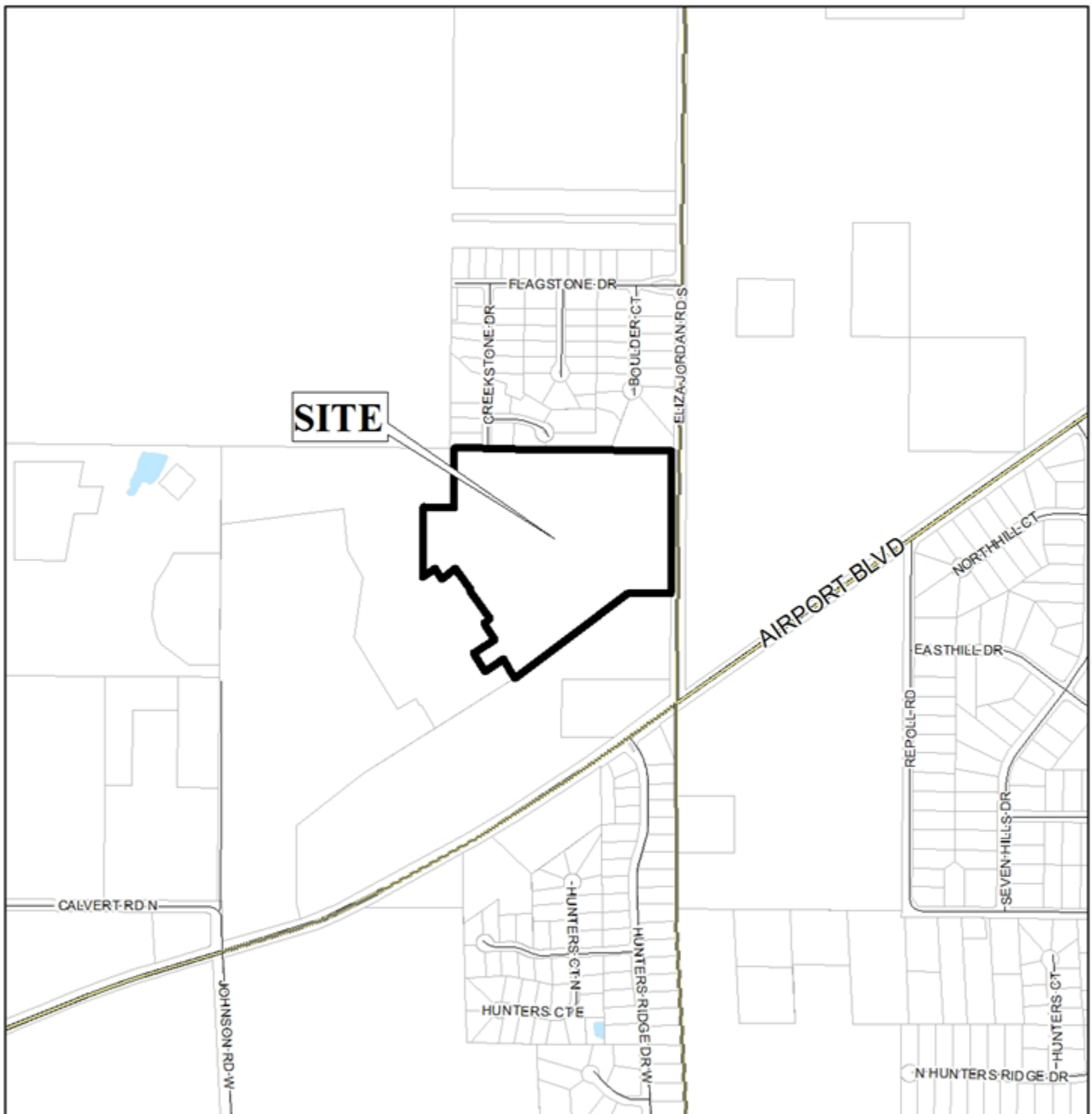
APPLICATION NUMBER 9 DATE March 1, 2018

APPLICANT Burlington Estates Subdivision, Phase 1

REQUEST Subdivision



# LOCATOR ZONING MAP



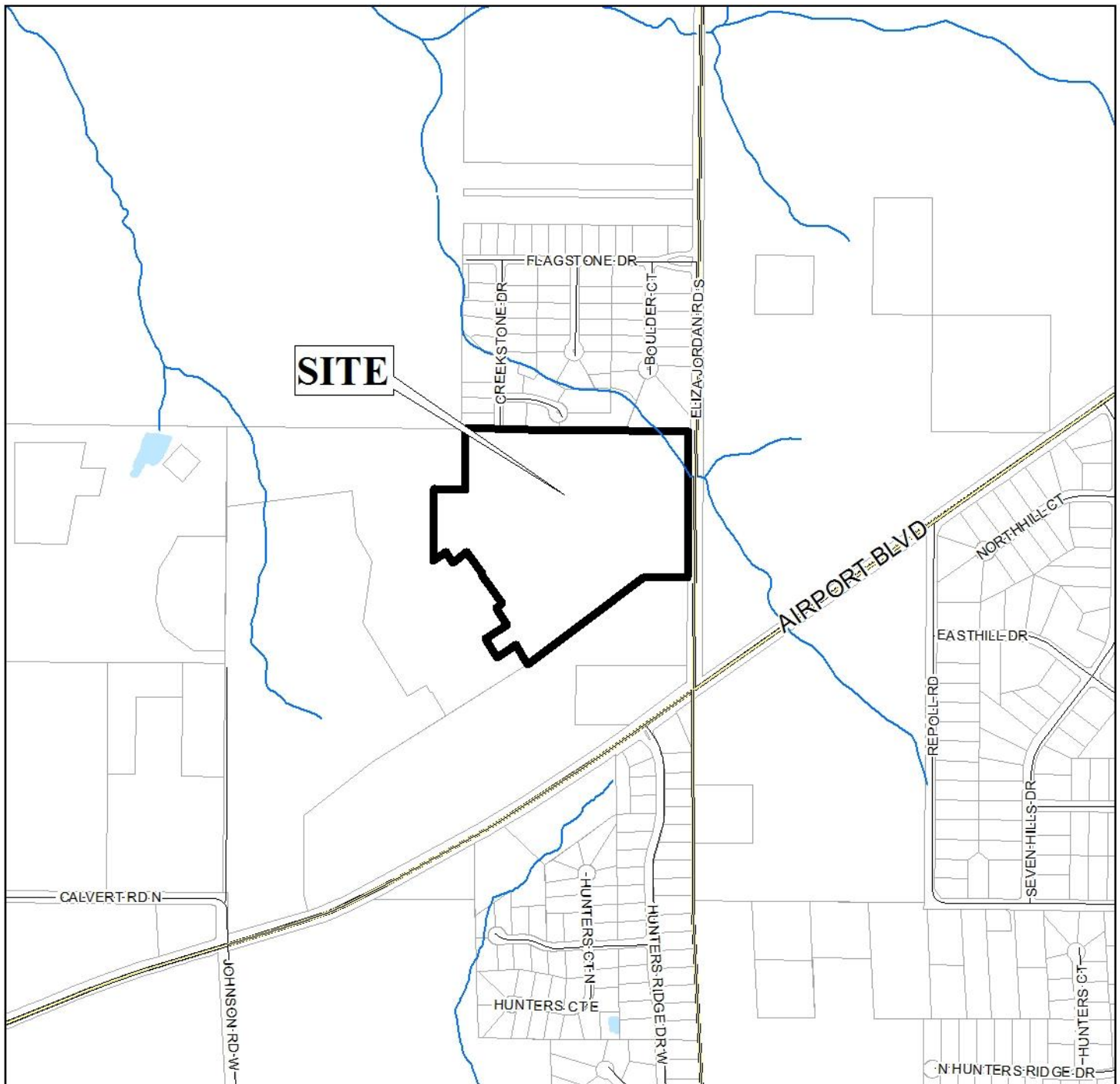
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REQUEST Subdivision



# FLUM LOCATOR MAP



APPLICATION NUMBER 9 DATE March 1, 2018

APPLICANT Burlington Estates Subdivision, Phase 1

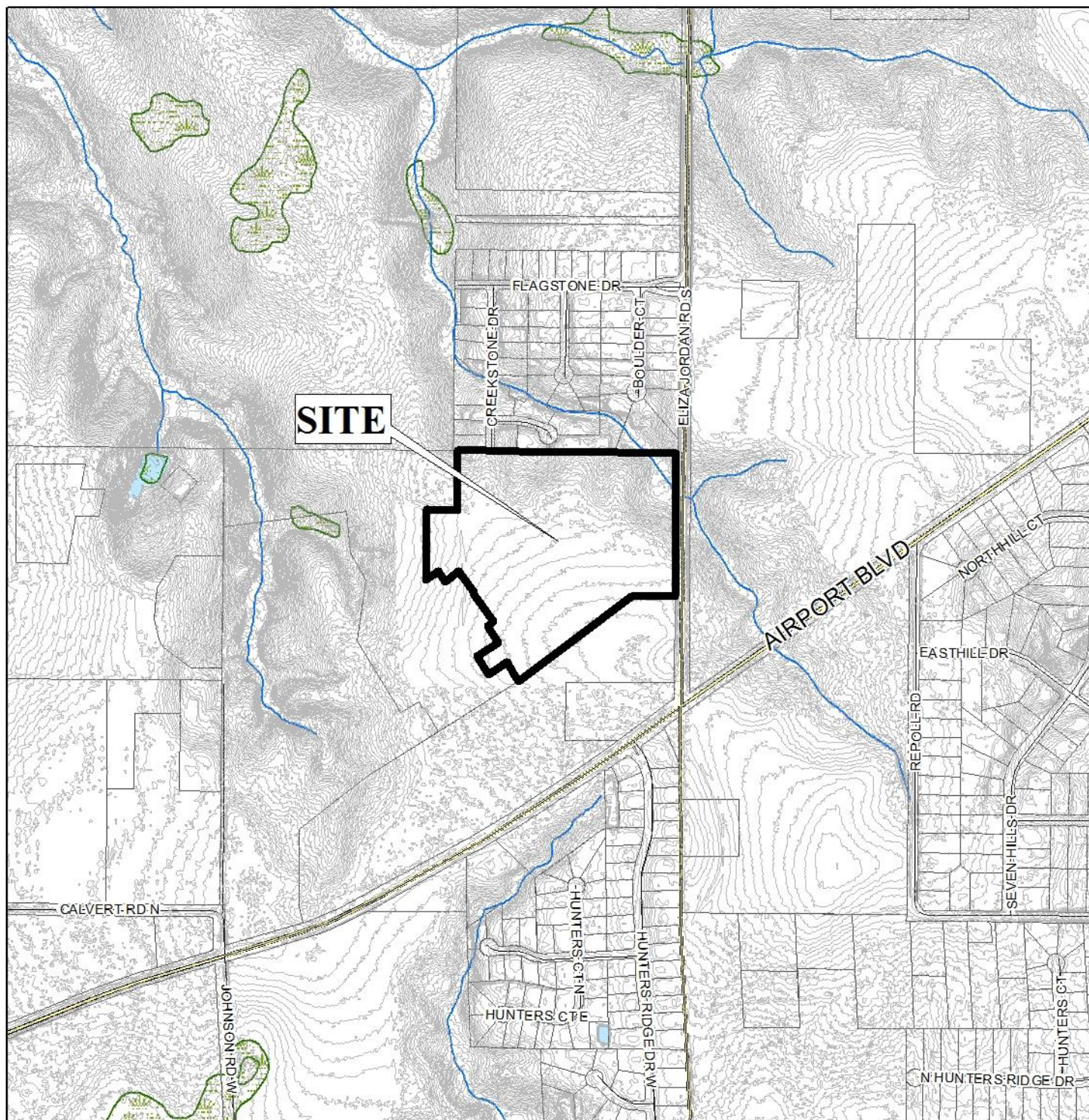
REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 9 DATE March 1, 2018

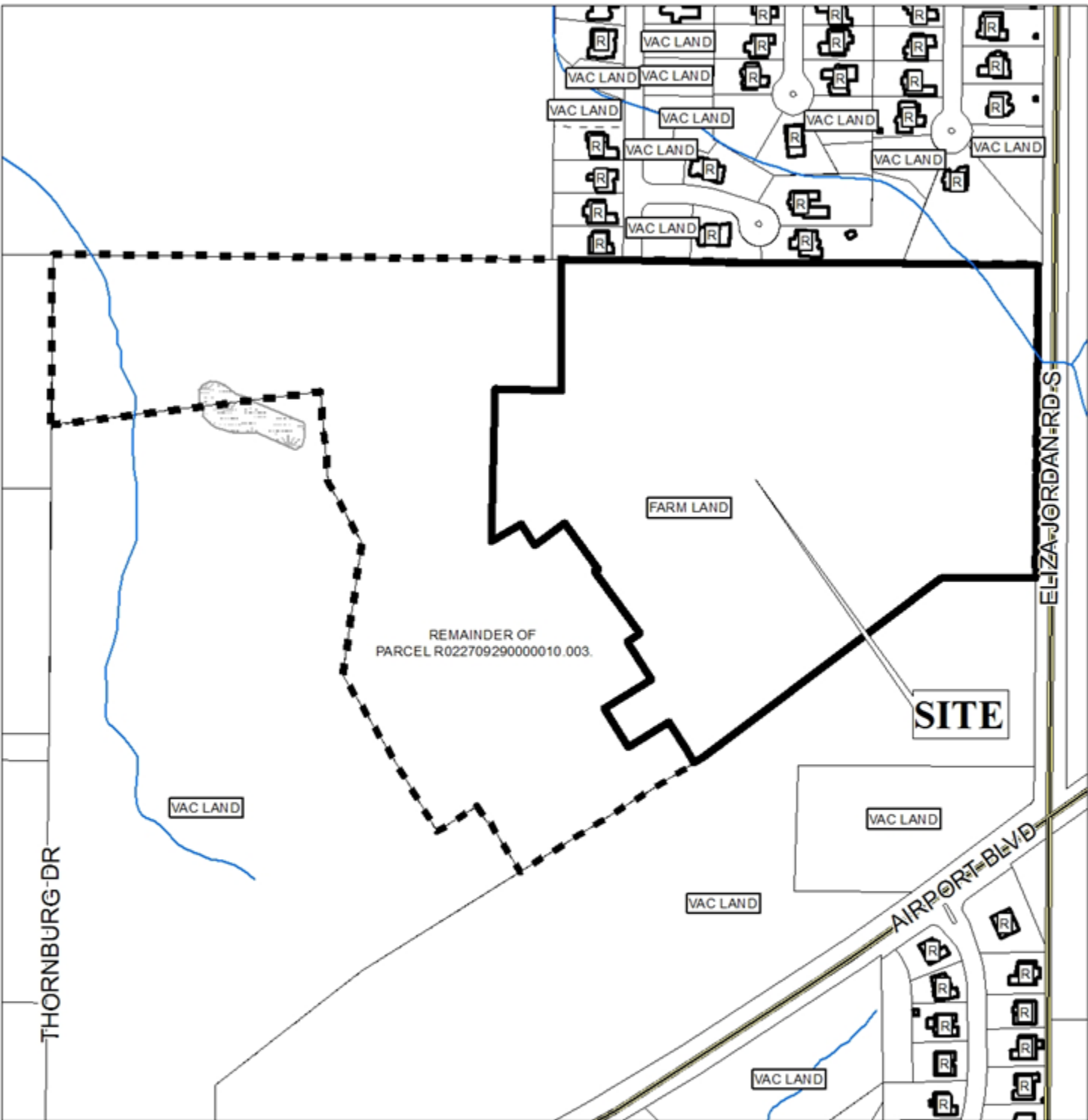
APPLICANT Burlington Estates Subdivision, Phase 1

REQUEST Subdivision





# BURLINGTON ESTATES SUBDIVISION, PHASE 1



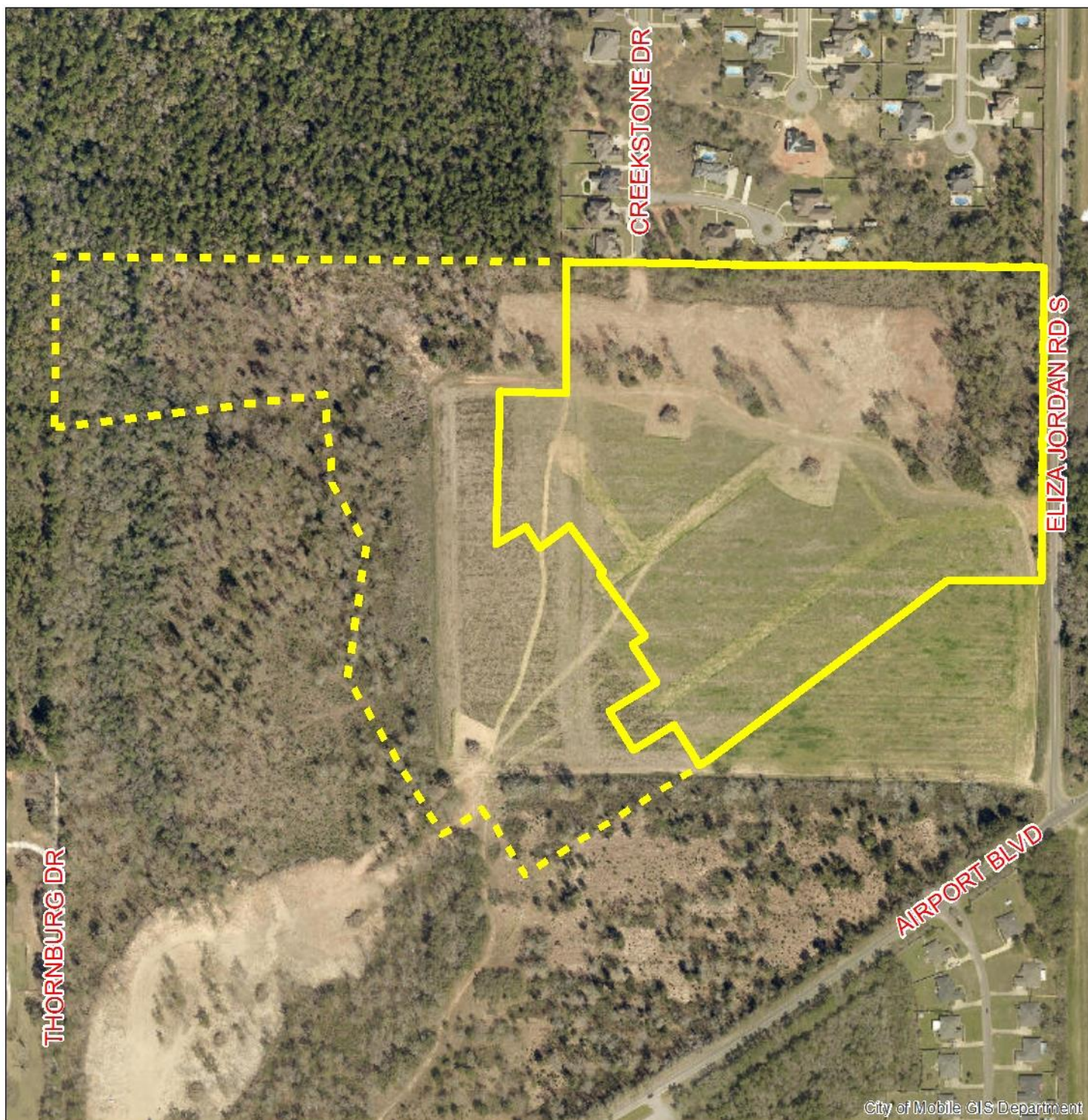
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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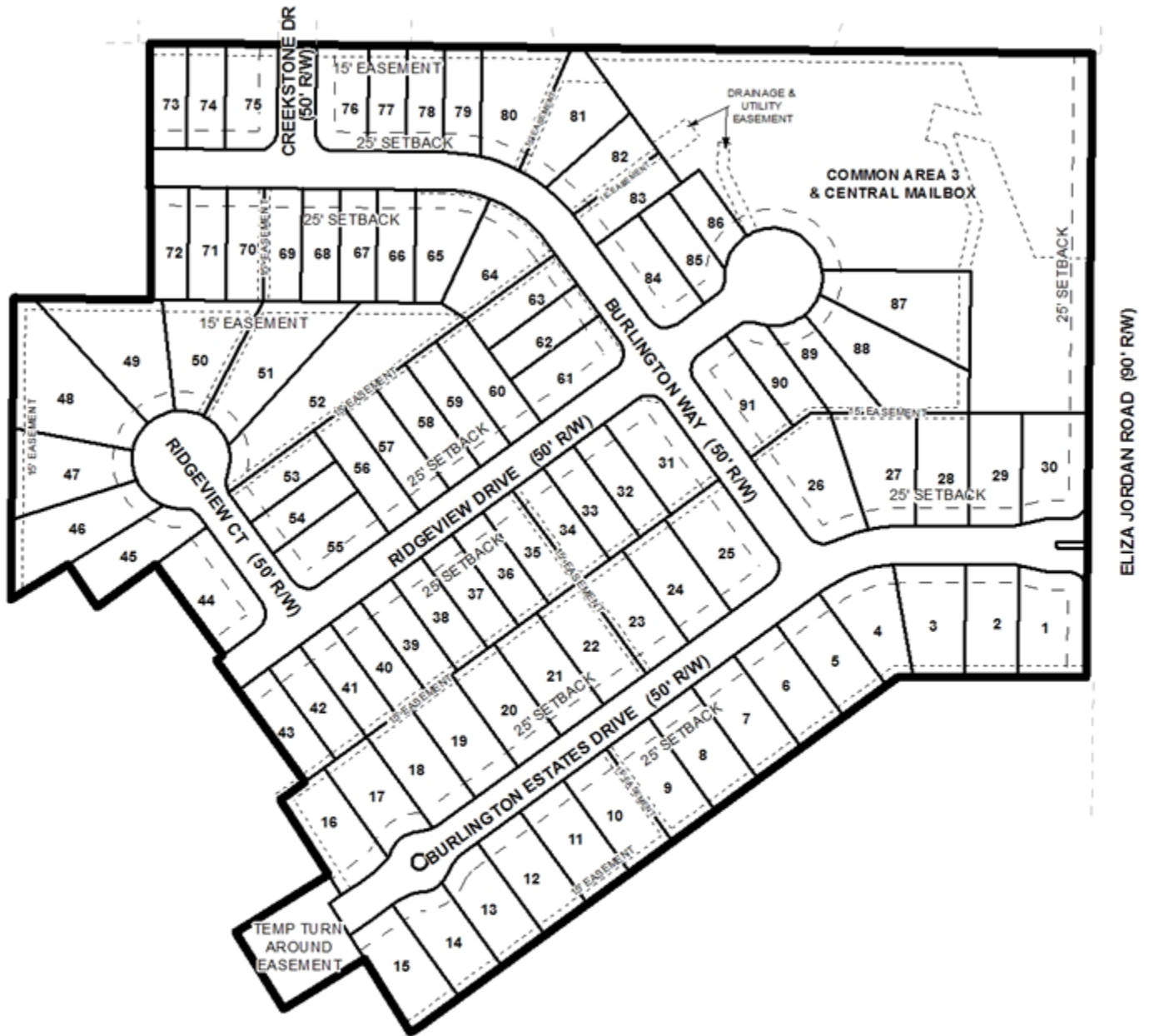


APPLICATION NUMBER 9 DATE March 1, 2018





# DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE March 1, 2018

APPLICANT Burlington Estates Subdivision, Phase 1

REQUEST Subdivision



NTS